

**REQUEST FOR PROPOSALS (RFP)**  
FOR  
**General Contractor SERVICES**

**Frist Art Museum**  
**Window Replacement Test Project**  
NASHVILLE, TENNESSEE

**November 3, 2022**

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**1. INTRODUCTION**

The Frist Art Museum ("FAM"), working in cooperation with the Metropolitan Development and Housing Agency ("MDHA"), is seeking a Window Contractor for the Frist Art Museum Window Replacement Test Project (the "Project"). FAM is using the "Best Value" approach for the Contractor selection. Contractor proposals will be evaluated based upon cost and schedule, as well as their qualifications, experience, and methodology. In all documents referenced for this RFP, the term Bid and Bidder shall have the same meaning as Proposal and Proposer respectively.

The Project involves the replacement of one existing steel window that has corrosion problems with a thermally-broken aluminum replica window. The existing steel window sightlines and profiles form the basis of the design for the new window. The design intent is for the new window to match the aesthetic of the original steel window, to improve the window's resilience to exterior weather conditions, and to improve the window's energy efficiency. This test is designed to provide FAM with a proof-of-concept for the eventual renovation of all 79 of the museum's existing steel windows. FAM expects the renovation of

the other 78 windows will take place at an unspecified future date and requests each Proposer to provide three add alternate estimates to gain an understanding of the future capital expenditure. FAM makes no guarantees that a Proposer will be awarded the entire future window renovation project based on the outcome of this RFP.

The project will be developed under the requirements outlined in the Architect's Frist Art Museum Windows Plans (Exhibit A). The above plans which include specifications can be found at the following web address:

<https://fristartmuseum.org/window-project/>

It is the intent of FAM to engage a "Project Delivery Team" comprised of FAM, Tuck Hinton Architecture and Design firm, and the Windows Contractor to work within a coordinated and focused environment utilizing the efforts, experience, and talents of each discipline to achieve a completely renovated window within the designated scope, budget, and schedule.

Each Windows Contractor responding to this RFP shall be defined as the "Proposer" in this document. The Proposer's cost will be evaluated based upon the overall lump sum cost for work described in the Construction Documents, additional alternates, itemized unit prices, and voluntary value engineering options. Each Proposer's schedule, including material availability projections, will be evaluated based upon the overall duration, as well as the phasing of the various blocks. Each Proposer will submit qualifications of their company and their proposed superintendent and project manager, with examples of past projects. Lastly, each Proposer will be evaluated on their methodology for construction of the Project including site utilization and access to the test window area.

All Proposers are encouraged to visit the site to become familiar with the factors that may have an impact on their proposal. A pre-bid meeting will be held on November/10/2022 to allow Proposers access to the FAM site, the Architects, and the Owners. Proposers are strongly encouraged to attend the pre-bid meeting. If it is necessary to schedule a virtual meeting so that Proposers can attend, please alert the Owners and accommodations may be made. Should any additional information about the project become available prior to the due date of the proposals, it will be distributed to all Proposers as an addendum to the RFP.

We appreciate your interest and look forward to receiving your proposal in accordance with the submittal requirements defined herein.

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Frist Art Museum

--END OF SECTION 1--

## 2. PROJECT DESCRIPTION

*This window replacement test project will take place at 919 Broadway, Nashville, TN 37203.*

*The Architects Frist Art Museum Windows Plans are included as Exhibit A. These files can be downloaded at <https://fristartmuseum.org/window-project/>*

*FAM will be evaluating Proposals for two different renovation Options for one test window highlighted in blue on the Architect's Frist Art Museum Windows Plans. Only one of these two renovation Options will ultimately be selected as the approved scope of work for this project. FAM requests each Proposer to provide pricing for both renovation Options. Each of these Options requests the Proposer to remove, salvage, protect, and store the existing windows. In the event that the Proposer encounters material on the site reasonably believed to be toxic material which has not been rendered harmless, the contractor shall abate such material as part of the work outlined. Both Options should be executed in a manner that maximizes the security of the test window area. Lumber-braced plywood with suitable waterproofing shall be installed in the opening at the end of each workday. The window area shall never be left open and insecure overnight. The temporary removal of interior gypsum wallboard coverings shall be necessary in areas adjacent to the window opening. Repair gypsum surfaces after the renovation and refinish them to match existing.*

### OPTION 1

*Remove, salvage, and store the existing "Type A" windows and shutters highlighted in blue on the East elevation. Storage location shall be the FAM lower level. Repair and refinish the existing steel subframe in place. Prepare surfaces by SSPC-SP11 Power tool cleaning to the bare metal with a minimum of 1.0 mil profile. A portable air-cooled laser cleaning system is also an approved method for surface preparation if preferred by the Proposer, but the laser system method is not required. Prepare the surfaces of the existing iron shutters using abrasive blasting. The existing subframe sill is an area expected to be in poor condition. Selectively demolish a 6" section of the steel subframe at the existing sill and photo document condition. In addition, selectively cut-out any sections of the steel subframe in visibly poor condition. Repair and replace all cut-out sections of subframe with like material. Photo document all areas requiring repair and provide a report to FAM. Surface fill imperfections using Tnemec Series 215 Surfacing Epoxy. Apply primers and intermediate coats recommended by the Tnemec manufacturer for use with the 971 Aerolon Acrylic System. Apply a finish coat of Tnemec 971 Aerolon Acrylic System at a minimum of 100 mils DFT to provide thermal insulation to the steel subframe. The spandrel and shutters do not require the Tnemec 971 Aerolon thermal insulation coating but these metal elements may be painted with that finish. The spandrel and shutters may be painted with the Tnemec 1095 Endura-Shield product at 2.0 to 3.0 Mils DFT with the manufacturer's recommended primers and intermediate coats if these products are less expensive. The color of all the finish coats shall match the existing windows and shall be coordinated with FAM. Apply silicone single component, nonsag, neutral, curing, class 50 sealants to the windows in a color matching the window frame.*

*New windows installed within the subframe shall be aluminum, thermally broken window with 1" insulating clear glass unit. The window is fixed and does not need to be operable. The window shall be AAMA CW-PG30 Rated with high-performance organic finish, two-coat pvd, fluoropolymer finish complying with AAMA 2605 and containing no less than 70% PCDF resin by weight in color coat. Match existing window profile. Provide FAM with window warranty information associated with the proposed window.*

*After the complete installation of the window, perform an air infiltration test to ASTM E186-17 utilizing infrared scanning technique – standard practices for air leakage site detection in building envelopes and air barrier systems. Provide FAM with a report of the test results. If the window fails the ASTM E186-17 test, repair deficiencies, and perform the air infiltration test a second time. Provide itemized cost for the test.*

*After the complete installation of the window, perform a water infiltration test to ASTM E1105-15 – standard test method for field determination of water penetration of installed exterior windows, skylights, doors, and curtain walls, by uniform of cyclic static air pressure difference. Provide FAM with a report of the test results. If the window fails the ASTM E1105-15 test, repair deficiencies, and perform the water infiltration test a*

*second time. Provide itemized cost for the test.*

*Perform all additional work as noted on the Plans.*

*FAM is including in this proposal a report of what construction conditions were encountered in a previous window test (see Attachment I – Frist Art Museum Window Test Report – 2021). This report offers the Proposer vital information regarding what conditions they can reasonably expect to encounter. If the Proposer discovers unforeseen conditions that expands the scope of work, a change order may be added to reimburse the Proposer at the Proposer's cost for remedying these unforeseen conditions.*

*Add Alternate Estimate 1: Proposer shall estimate the cost FAM would incur to perform the scope of work defined in Option 1 on all 79 windows currently installed in the FAM building. Window sizes and designs are variable as highlighted in yellow on the Architectural Plans. Proposer shall estimate pricing at labor and material rates as of November of 2022. FAM understands that the estimates provided by Proposer will be subject to inflation.*

## OPTION 2

*Remove, salvage, and store the existing "Type A" windows and shutters highlighted in blue on the East elevation. Remove, salvage, and store the existing steel subframe to the extent possible. Storage location shall be the FAM lower level. Leave the cast decorative iron spandrel in place. Prepare spandrel by SSPC-SP11 Power tool cleaning to the bare metal with a minimum of 1.0 mil profile. A portable air-cooled laser cleaning system is also an approved method for surface preparation if preferred by the Proposer but the laser system method is not required. Photo document the removal of the existing subframe and the attachments to the adjacent masonry. Photo document all methods of demolition and construction and provide a report to FAM. Surface fill imperfections on the spandrel using Tnemec Series 215 Surfacing Epoxy. Apply primers and intermediate coats recommended by the manufacturer for use with the Tnemec 1095 Endura-Shield product at 2.0 to 3.0 Mils DFT. The color of all the finish coats shall match the existing windows and shall be coordinated with FAM. Apply silicone single component, nonsag, neutral, curing, class 50 sealants to the windows in a color matching the window frame.*

*Install a new aluminum subframe in the window opening with thermal breaks as indicated in the Architectural Plans for Option 2. Proposer should plan to provide FAM with drawings indicating the preferred attachment method to the masonry and photo document these attachments during installation. Provide a report with these photographs to FAM. The subframe shall have a high-performance two-coat pvdf, fluoropolymer finish complying with AAMA 2605 and containing no less than 70% PCDF resin by weight in color coat to match the existing windows. The design intent is for the subframe finish to match the new windows described below.*

*New windows installed within the new aluminum subframe shall be aluminum, thermally broken windows with 1" insulating clear glass unit. The window is fixed and does not need to be operable. AAMA CW-PG30 Rated with high-performance organic finish, two-coat pvdf, fluoropolymer finish complying with AAMA 2605 and containing no less than 70% PCDF resin by weight in color coat. Match existing window profile. Provide FAM with window warranty information associated with the proposed window.*

*The weight of one of the existing cast iron shutters is 26 lbs. per unit. We assume the aluminum subframe will have different engineering characteristics that may affect the subframe's ability to support the weight of the existing shutters. We assume the existing shutters are too heavy for the new aluminum subframe to support and a recasting of the shutters in aluminum will be required. FAM requests the Proposer provides an itemized price for installing new aluminum cast shutters on the new subframe. 4 different molds would be required to execute this casting design. The new aluminum shutters shall have a high-performance two-coat pvdf, fluoropolymer finish complying with AAMA 2605 and containing no less than 70% PCDF resin by weight*

*in color coat to match the existing windows. If the aluminum subframe can support the weight of the existing cast iron shutters, FAM requests an alternate estimate to reinstall those existing shutters (see below for Add Alternate Estimate 3).*

*After the complete installation of the window, perform an air infiltration test to ASTM E186-17 utilizing infrared scanning technique – standard practices for air leakage site detection in building envelopes and air barrier systems. Provide FAM with a report of the test results. If the window fails the ASTM E186-17 test, Proposer shall repair deficiencies, and perform the air infiltration test a second time. Provide itemized cost for the test.*

*After the complete installation of the window, perform a water infiltration test to ASTM E1105-15 – standard test method for field determination of water penetration of installed exterior windows, skylights, doors, and curtain walls, by uniform of cyclic static air pressure difference. Provide FAM with a report of the test results. If the window fails the ASTM E1105-15 test, repair deficiencies, and perform the water infiltration test a second time. Provide itemized cost for the test.*

*Perform all additional work as noted on the Plans.*

*FAM is including in this proposal a report of what construction conditions were encountered in a previous window test (see Attachment I – Frist Art Museum Window Test Report – 2021). This report offers the Proposer vital information regarding what conditions they can reasonably expect to encounter. If the Proposer discovers unforeseen conditions that expands the scope of work, a change order may be added to reimburse the Proposer at the Proposer's cost for remedying these unforeseen conditions.*

*Add Alternate Estimate 2: Proposer shall estimate the cost FAM would incur to perform the scope of work defined in Option 2 on all 79 windows currently installed in the FAM building. Window sizes and designs are variable as highlighted in yellow on the Architectural Plans. Proposer shall estimate pricing at labor and material rates as of November 2022. FAM understands that the estimates provided by Proposer will be subject to inflation.*

*Add Alternate Estimate 3: Proposer shall estimate the cost FAM would incur to reinstall the existing cast iron shutters in performing the scope of work defined in Option 2. If the aluminum subframe walls defined in Option 2 need to be thicker to support the 26 lbs. weight of each shutter, FAM requests the cost of installing a more robust subframe is included in this estimate. Prepare the surfaces of the existing iron shutters using abrasive blasting. Surface fill imperfections using Tnemec Series 215 Surfacing Epoxy. Apply primers and intermediate coats recommended by the Tnemec manufacturer for use with the Tnemec 1095 Endura-Shield product at 2.0 to 3.0 Mils DFT. The color of all the finish coats shall match the existing windows and shall be coordinated with FAM. If FAM elects to complete Add Alternate Estimate 3, FAM will deduct the itemized cost for casting the shutters in aluminum material called out in the Option 2 scope of work.*

**--END OF SECTION 2--**

### 3. SUBMISSION OF RFP RESPONSES (Architect to assist to complete)

#### a. **PRE-PROPOSAL CONFERENCE**

A Pre-Proposal Conference will be held **11/10/2021 at 2:00 p.m. CDT** at FAM.

Proposer's attendance at this conference is strongly encouraged to submit a Proposal in alignment with the scope of work. FAM can make a virtual meeting option available at a Proposer's request. All Proposers are encouraged to study the Window Plans on their own time to become familiar with the factors that may have an impact on their response. Should any additional information about the project become available prior to the due date for responses, it will be distributed to all Proposers as an addendum to the RFP. Proposals shall be based only on this request and formal addendums to this request.

#### b. **INQUIRIES**

Questions submitted via email or hard copy will be accepted until **11/29/2022 at 5:00 p.m. Central Daylight Time (CDT)**. Responses to inquiries will be mailed or emailed to Proposers as addendum. Direct all questions to:

Hans Schmitt-Matzen  
Director of Internal Affairs  
Frist Art Museum  
919 Broadway  
Nashville, TN 37203  
615-804-7414  
hmatzen@fristartmuseum  
.org

#### c. **SUBMISSION DEADLINE**

For consideration, please email or deliver the following no later than **4:00 p.m., 12/05/2022 to the address or email listed below:**

- i. **An RFP response emailed in a pdf document format or an original hard copy** of the Proposal submitted in a sealed envelope/ package and clearly labeled with Proposers contact information.

Hans Schmitt-Matzen  
Director of Internal Affairs  
Frist Art Museum  
919 Broadway  
Nashville, TN 37203  
615-804-7414  
hmatzen@fristartmuseum  
.org

d. **AWARD**

Proposer finalists will be ranked by a FAM selection committee according to the scoring methodology described in Section 4.

e. **BID BONDS**

No bid bond will be required for all RFP Proposers on this project.

g. **COST INCURRED IN RESPONDING**

All costs directly or indirectly related to the preparation of a response to this Request for Proposal or any oral presentation required to supplement and/or clarify the submittal which may be required by FAM shall be the sole responsibility of, and shall be borne by Proposer(s).

Each Proposer, by submitting its proposal, waives any claim for liability against FAM as to loss, injury and costs or expenses, which may be incurred as a consequence of its response to this document.

h. **REJECTION**

FAM reserves the right to reject any and all submittals and/or to waive any informality in the solicitation process or parts thereof and to re-solicit.

FAM does not guarantee that a contract will be awarded as a result of this Request for Proposal.

i. **CONTRACT COMPLIANCE STATEMENT**

The Proposer shall be in compliance with all applicable rules, regulations, zoning, permitting, registration and licensing requirements of federal, state and local governing entities. Proposal must state Proposer's compliance with terms of this Request for Proposal (see exhibits and attachments).

Proposer shall provide their license to do work in the State of Tennessee.

--END OF SECTION 3--

#### 4. SELECTION PROCESS & RESPONSE OUTLINE

##### a. Proposal Format and Evaluation Factors

- i. The Proposer's submittal shall be arranged in the following format and sequence and will be evaluated using the factors and assigned values listed below. Proposals are likely to be ranked without interviews; hence, Proposers are encouraged to submit their proposals as comprehensively as possible. Proposers may be invited for interviews to present their proposals in more detail and to answer any questions the selection committee may have. Proposals with missing or incomplete items will receive lower scores.

##### b. Proposer's Letter of Interest

- i. Provide a one (1) page letter on Proposer's letterhead describing the Proposer's interest in this Project and why the Proposer believes they are the best suited to perform the work outlined in this request.

##### c. Proposer's Cost (40 pts)

- i. Complete the Bid Form (Attachment B).
  1. Up to 40 points in this category will be evaluated based upon the lump sum cost for the Project per the Plans. Please note the request to provide itemized prices for casting shutters in aluminum, air and water infiltration tests.

##### d. Proposer's Schedule (10 pts)

- i. Complete the Bid Form (Attachment B)
  1. Up to 5 points in this category will be evaluated based upon the proposed total duration for the Proposer to perform the Work. Assume the Work begins in the first 2 quarters of 2023. If starting the work by July 1, 2023 is not possible for the Proposer, indicate the earliest date the Proposer can begin work.
  2. Up to 5 points in this category will be evaluated based upon the Proposer's phasing of the project. Proposer shall include a milestone schedule with Attachment B that identifies the start and finish dates for each portion of the Project and identify whether each portion will require a lane closure, a full street closure, or no closure. Proposer should consult with the Nashville Department of Transportation and Multimodal Infrastructure ("NDOT") regarding potential street closures in the Project area. A site plan drawing of FAM is included as Attachment E to assist Proposers.

##### e. Experience of the Proposer Company (20 pts)

- i. Proof of Proposer having been in the business under the present name for the last five (5) consecutive years.
- ii. Evidence demonstrating the Proposer is a lawful entity authorized to conduct business in the United States and in the State of Tennessee, including a copy of

- current Tennessee Contractor's License.
- iii. List all litigation matters the Proposer is involved in at this time, or has been involved in the past five (5) years.
  - iv. List all Projects where Proposer and/or the Proposer's insurance company has paid for damages resulting from the Proposer's work, or where the Proposer's employee, owner's employee or anyone who was in or around the project site was injured as a result of the Proposer's work. Provide any relevant explanations/resolutions/supporting information.
  - v. The number and size of work crews the Proposer will utilize for this project.
  - vi. Summarize the Proposer's current work force and if the Proposer has in the past or plans to use subcontractors to perform any of the work on this Project. If using subcontractors, describe how this process works, including satisfying the insurance requirements required.
  - vii. List the Proposer's experience with window renovation work.
  - viii. List up to ten (10) window renovation projects the Proposer has completed in the past ten (10) years. Emphasize any experience with historic window renovations or the Proposer's completed projects that are most relevant to this Project. Include the following information:
    1. Name and current telephone number of owner contact and number of window projects performed for this owner
    2. Name and current telephone number of designer, if any
    3. Type of window system
    4. Quantity of windows
    5. Contract time allowed for project and amount of time actually required for project
    6. Whether any liquidated damages assessed for late completion of the project
    7. Number of window leaks reported during the first two (2) years, if any, and list source of each leak
    8. Whether window installation work force was provided by the Proposer's employees or subcontractors
    9. Disadvantaged Business Enterprises (DBE) percentage utilized per project

Points may be deducted for a Proposer's lack of relevant experience in all aspects of work required by this Project, lack of experience as a window contractor, lack of availability in 2023, and poor references.

**f. Proposer's Personnel Experience (20 pts)**

- i. List the personnel the Proposer will assign as Project Executive, Project Manager, General Superintendent and full time Site Foreman, all who must speak fluent English. Provide experience resumes that detail the staff's title, employment history, and experience highlighting projects of similar scope and complexity. Also provide the amount of time (in percentage or hours of positions) that each staff person will be committed to this Project.
- ii. List a reference for each of the last five (5) projects to which the Proposer's project executive, project manager and the superintendent were assigned. Include the following information:
  1. Project name, location and customer

2. Owner representative name, address, phone number and email address
  3. Designer name, address, phone number and email address
  4. Window type and quantity installed
  5. New window construction or window refurbishment
  6. Number of leak call backs and the source of the leak
  7. Whether project completed on time and within the budget
  8. Whether window installation work force was provided by the Proposer's employees or subcontractors
  9. FAM reserves the right to contact the Proposer's references given as well as any other source available.
- iii. Identify the Proposer's Construction team main point of contact for each phase of the project
  - iv. Identify the hours per week each member of the Proposer's construction team will be dedicated to this Project

**g. Proposer's Construction Management Methodology (10 pts)**

- i. Proposer acceptance of the terms and conditions.
- ii. Provide a site utilization plan minimizing impact to museum guests.
- iii. Provide a proposed maintenance of traffic plan correlated to the milestone schedule in Section d.i.
- iv. Describe the Proposer's commitment to quality assurance and safety.
- v. A description of the Proposer's specific safety program and how long it has been in place.
- vi. Proposer's company Experience Modification Rating (EMR) for each of the last five (5) years.
- vii. What challenges does the Proposer foresee for this Project?
- viii. Proposer may attach assumptions and clarifications, but is not permitted to exclude work identified in the Contract Documents as the responsibility of the Proposer as Window Contractor.

**h. Proposer's DBE Utilization (Bonus Points – up to 5 pts)**

- i. All proposers should review FAM DBE Form 2021 to disclose Diverse Business Enterprise (DBE) utilization. A zero percent (0%) DBE Utilization will not be a disqualifying factor, but it will result in zero (0) bonus points. Refer to Attachment J for additional details.

**i. Proposer's Additional Requirements**

The following must be completed and attached as pre-requisite for evaluation:

- i. Proposer's contractor's license
- ii. Provide evidence of Proposer's bonding capacity and the ability to obtain the required insurance. Note that the Proposer is required to have \$10,000,000 in total liability insurance.
- iii. Attachment A – Bid Bond – No bid bond required for this project
- iv. Attachment B – Bid Form - Refer to all items requested in Section 4
- v. Attachment C – Company Information
- vi. Attachment D – Fair Employment Practice Statement Affidavit

- vii. Attachment E – Frist Art Museum Site Plan to assist with the Site Utilization Plan
- viii. Attachment F – Form of Non-Collusive affidavit
- ~~ix.~~ Attachment G – Drug Free Affidavit
- x. Attachment H – Section 3 Bidder Certification and Compliance Agreement
- xi. Attachment I – Review Frist Art Museum Window Test Report 2021
- xii. Attachment J –Diversity Business Enterprise Program
- xiii. Attachment K - is optional at this time, but may be part of the construction contract –  
FAM will award bonus points to Proposers complying with the Diversity Business Enterprise Program. FAM DBE Form 2021 will be used to indicate efforts to utilize DBE firms for this project. The Form 2021 will be completed indicating the % of DBE firms the Contractor will commit to utilize for this project and the total dollars that will be paid to DBE firms.

**--END OF SECTION 4--**

**EXHIBIT A**

**Architect's Frist Art Museum Windows Plans**



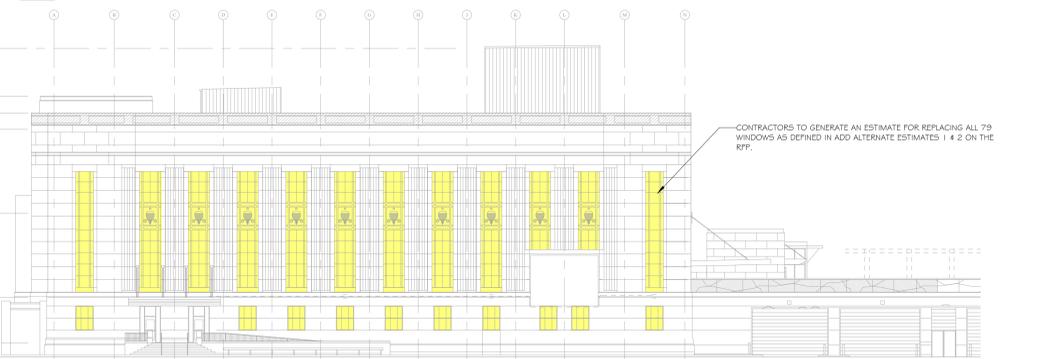
3A NORTH ELEVATION



3B EAST ELEVATION



3C SOUTH ELEVATION



3D WEST ELEVATION

BUILDING ELEVATIONS

3

20' 10' 0 20'

**NOTES**

AIR INFILTRATION TESTING ASTM E1186-17 UTILIZING INFRARED SCANNING TECHNIQUE - STANDARD PRACTICES FOR AIR LEAKAGE SITE DETECTION IN BUILDING ENVELOPES AND AIR BARRIER SYSTEMS

WATER INFILTRATION TESTING ASTM E1105-15 - STANDARD TEST METHOD FOR FIELD DETERMINATION OF WATER PENETRATION OF INSTALLED EXTERIOR WINDOWS, SKYLIGHTS, DOORS, AND CURTAIN WALLS, BY UNIFORM OR CYCLIC STATIC AIR PRESSURE DIFFERENCE

IN THE EVENT THE CONTRACTOR ENCOUNTERS MATERIAL ON THE SITE REASONABLY BELIEVED TO BE TOXIC MATERIAL WHICH HAS NOT BEEN RENDEREED HARMLESS, THE CONTRACTOR SHALL ABATE SUCH MATERIAL AS PART OF THE WORK OUTLINED.

SURFACE PREPARATION - SSPC SP11 POWER TOOL CLEAN TO BARE METAL WITH A MINIMUM OF 10 MIL PROFILE. A PORTABLE AIR-COOLED LASER CLEANING SYSTEM AS PROVIDED BY G.C. LASER IS ALSO AN ACCEPTABLE METHOD TO PREPARE THE METAL, EITHER APPROACH MAY BE USED BY THE CONTRACTOR.

SURFACE FILLER - TNE MEC SERIES 215 SURFACING EPOXY

FINISH - TNE MEC 971 AEROLON ACRYLIC SYSTEM WITH MANUFACTURER'S RECOMMENDED PRIMER

SEALANT - SILICONE SINGLE COMPONENT, NONSAG, NEUTRAL CURING, CLASS 50 COLOR TO MATCH WINDOW FRAME

TESTING - SEE EXISTING NOTES

EXISTING METALS - SEE EXISTING NOTES

NEW WINDOWS - ALUMINUM, THERMALLY BROKEN WINDOW WITH 1" INSULATING CLEAR GLASS UNIT, AAMA CW-PC30 RATED WITH HIGH-PERFORMANCE ORGANIC FINISH, TWO-COAT PROF. FLOORCOAT™ FINISH COMPLYING WITH AAMA 2605 AND CONTAINING NO LESS THAN 70 PERCENT PCDF RESIN BY WEIGHT IN COLOR COAT. MATCH EXISTING WINDOW PROFILE

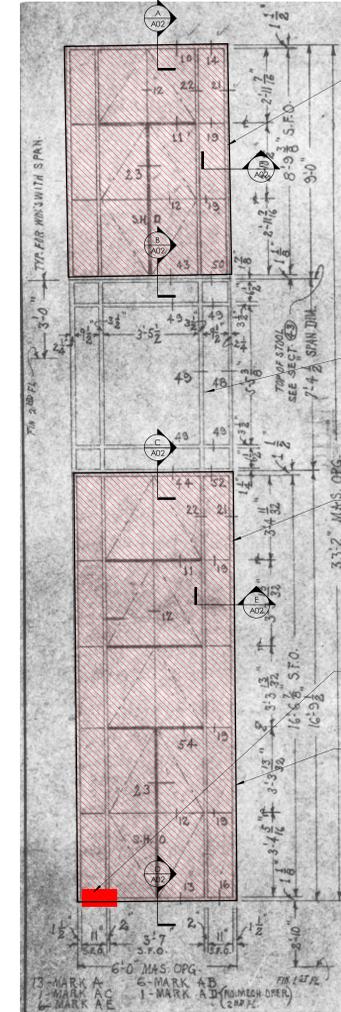
**SCOPE DESCRIPTION**

OPTION 1:

- REMOVE EXISTING WINDOWS AND SHUTTERS
- REPAIR EXISTING STEEL SUBFRAME AND SHUTTERS
- INSTALL NEW ALUMINUM WINDOW
- INITIAL TESTING AS DESCRIBED
- SECOND TEST IF REQUIRED AFTER ADDRESSING ANY DEFICIENCIES FOUND
- CONTRACTOR SHALL SALVAGE THE EXISTING WINDOW AND STORE ON SITE IN FAN LOWER LEVEL
- PROVIDE AN ITEMIZED PRICE ON AIR & WATER INFILTRATION TESTS
- PROVIDE AN ITEMIZED PRICE FOR CASTING SHUTTERS IN ALUMINUM
- PROVIDE AN ADD ALTERNATE ESTIMATE 1 FOR EXECUTING ALL 79 WINDOWS USING OPTION 1.

OPTION 2:

- REMOVE EXISTING WINDOWS, SUBFRAME, AND SHUTTERS
- INSTALL NEW ALUMINUM WINDOW AND SHUTTER
- INITIAL TESTING AS DESCRIBED
- SECOND TEST IF REQUIRED AFTER ADDRESSING ANY DEFICIENCIES FOUND (NOTE: EXISTING CAST IRON SHUTTERS MAY BE REUSED IF ABLE TO BE SUPPORTED BY NEW WINDOW SYSTEM)
- CONTRACTOR SHALL SALVAGE THE EXISTING WINDOW AND STORE ON SITE IN FAN LOWER LEVEL
- PROVIDE AN ITEMIZED PRICE ON AIR & WATER INFILTRATION TESTS
- PROVIDE AN ITEMIZED PRICE FOR CASTING SHUTTERS IN ALUMINUM
- PROVIDE AN ADD ALTERNATE ESTIMATE 2 FOR EXECUTING ALL 79 WINDOWS USING OPTION 2.



OPTION 1 AND 2 REMOVE EXISTING STEEL WINDOW AND SHUTTER, PROTECT AND STORE. OPTION 2 REMOVE EXISTING STEEL SUBFRAME

EXISTING DECORATIVE SPANDREL TO REMAIN

OPTION 1 AND 2 REMOVE EXISTING STEEL WINDOW AND SHUTTER, PROTECT AND STORE. OPTION 2 REMOVE EXISTING STEEL SUBFRAME

OPTION 1 ONLY: SELECTIVELY DEMOLISH SUBFRAME, PHOTO DOCUMENT EXISTING SHL CONDITION AT SPANDREL BELOW, REPAIR AND REFINISH

REFINISH REMAINING STEEL SUBFRAME IN PLACE

MARK A WINDOW ELEVATION

1

**GRAPHIC SYMBOLS**

- WINDOWS TO BE AIR AND WATER INFILTRATION TESTED
- WINDOWS TO BE REMOVED, REPLACED WITH ALUMINUM WINDOWS
- WINDOWS TO BE INCLUDED IN PRICING

**REPRESENTATIVE EXISTING PHOTOGRAPHY**



ELEVATION REFERENCE

11/23/2022 11:18:30 AM C:\Users\lhammond\Documents\17028\_FRIST\_MASTER\_IPZ\_CENTRAL\_RTLA05.rvt

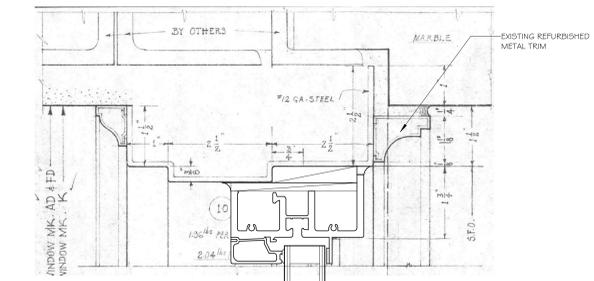
WINDOW TESTING OCTOBER 12 2022

17028

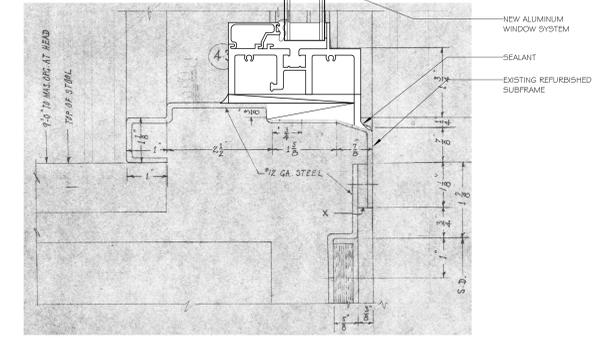


WINDOW TESTING PARTIAL REPLACEMENT

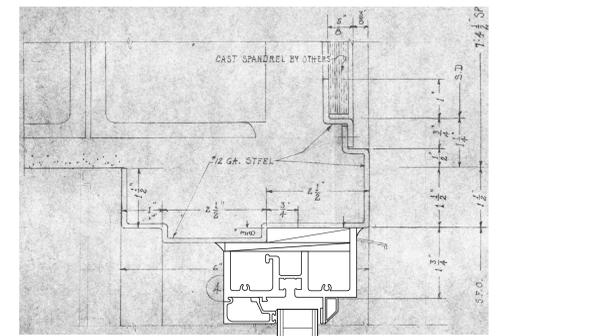
**A01**



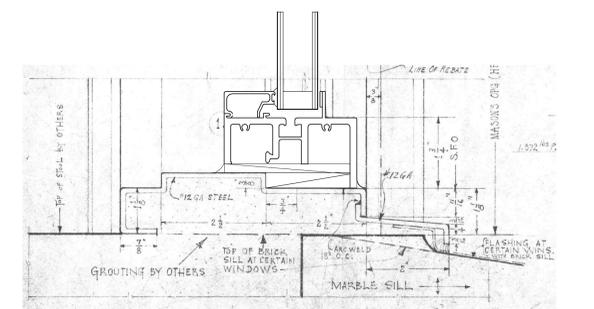
**A** LEVEL 2 HEAD



**B** LEVEL 2 SILL



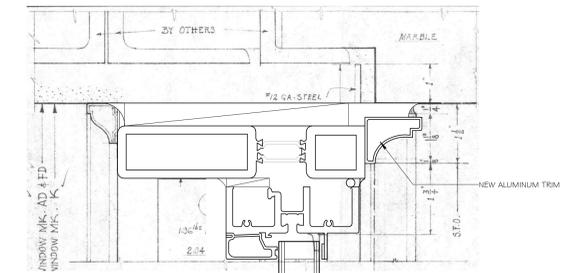
**C** LEVEL 1 HEAD



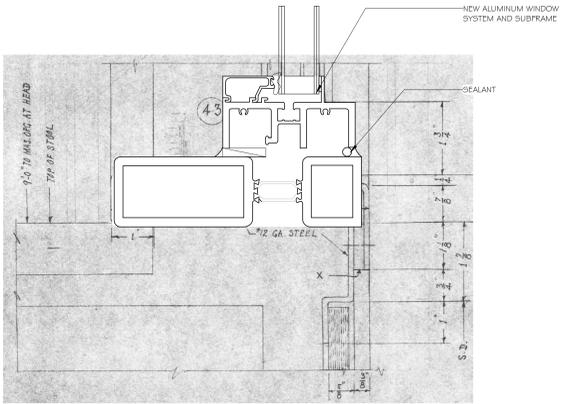
**D** LEVEL 1 SILL

OPTION 1 WINDOW SECTIONS

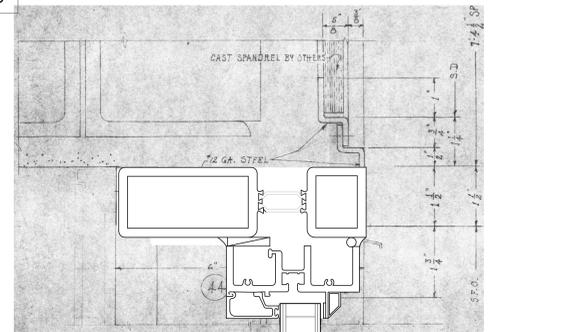
1



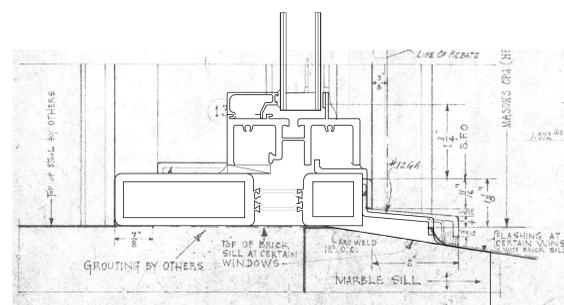
**A** LEVEL 2 HEAD



**B** LEVEL 2 SILL



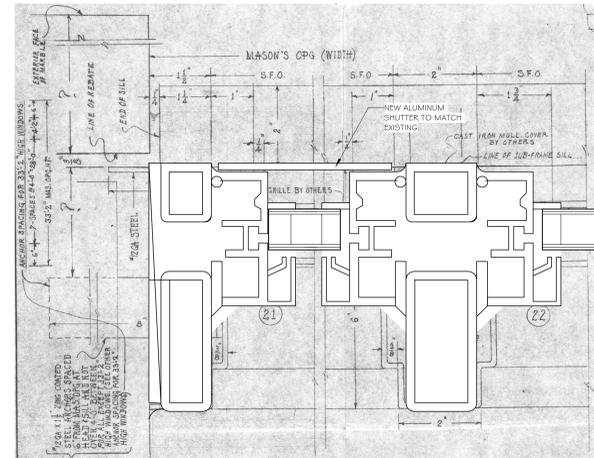
**C** LEVEL 1 HEAD



**D** LEVEL 1 SILL

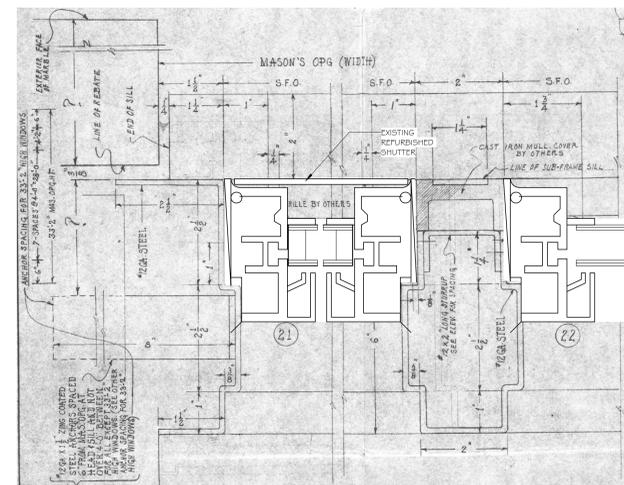
OPTION 2 WINDOW SECTIONS

2



OPTION 2 WINDOW JAMB DETAIL

E



OPTION 1 WINDOW JAMB DETAIL

E



SHUTTER DETAIL PHOTOS

REPRESENTATIVE EXISTING PHOTOGRAPHY



GRAPHIC SYMBOLS

- WINDOWS TO BE AIR AND WATER INFILTRATION TESTED
- WINDOWS TO BE REMOVED, REPLACED WITH ALUMINUM WINDOWS
- WINDOWS TO BE INCLUDED IN PRICING

ELEVATION REFERENCE



**ATTACHMENT A**

**BID BOND FORM**

No bid bond required for this project

## **ATTACHMENT B**

**BID FORM – refer to what is listed in Section 4 – a, b, c, d**

**COMPANY EXPERIENCE STATEMENT – refer to what is listed in Section 4 – e**

**PERSONNEL EXPERIENCE STATEMENT - refer to what is listed in Section 4 – f**

**METHODOLOGY STATEMENT - refer to what is listed in Section 4 – g**

**ATTACHMENT C**

**PROPOSER COMPANY  
INFORMATION**

Name of Organization: \_\_\_\_\_

Business Address: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Phone Number: \_\_\_\_\_

E-mail Address: \_\_\_\_\_

Name of Principal Owner  
(leave blank if publicly owned) \_\_\_\_\_

Number of Years in Business \_\_\_\_\_

Location of office which  
would service FAM \_\_\_\_\_

Attach any additional information regarding the Proposer firm's background, which would be useful in assessing your proposal.

**ATTACHMENT D**

**FAIR EMPLOYMENT PRACTICE STATEMENT AFFIDAVIT**

STATE OF \_\_\_\_\_

COUNTY OF \_\_\_\_\_

After being first duly sworn according to the law, the undersigned (Affiant) states that he/she is \_\_\_\_\_ of \_\_\_\_\_ (Contractor) and that by its employment policy, standards and practices the Contractor does not subscribe to any personnel policy which permits or allows for the promotion, demotion, employment, dismissal of, laying off of any individual due to his/her race, creed, color, national origin, age, sex, or handicapping condition.

Any further Affiant sayeth not.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Type/Print Name

Sworn to and subscribed before me on this \_\_\_\_\_ day of \_\_\_\_\_.

\_\_\_\_\_  
NOTARY PUBLIC

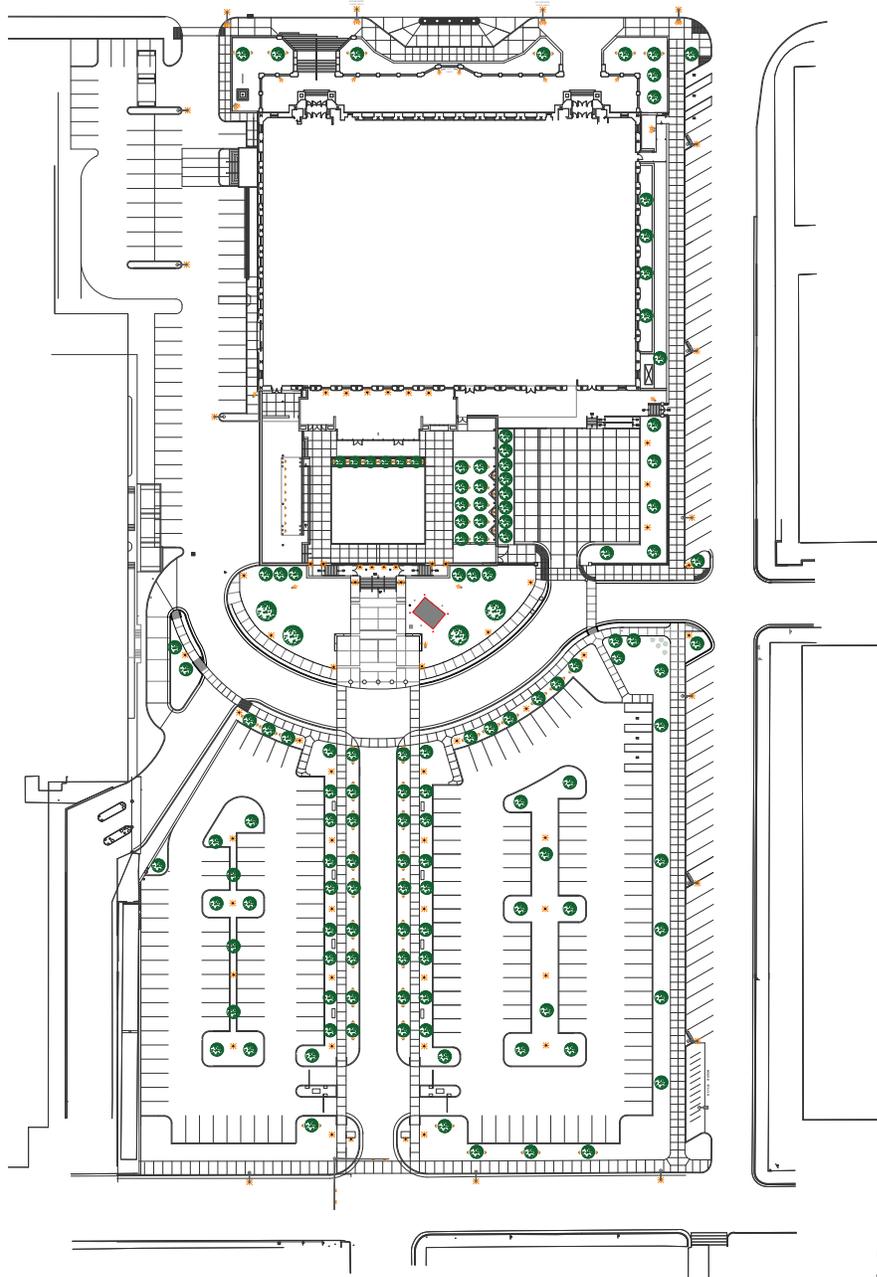
My Commission Expires: \_\_\_\_\_

**ATTACHMENT E**

**Frist Art Museum Site Plan**

# Frist Art Museum

Site Plan



0 8 16 32 64  
MEASUREMENTS IN FEET

**ATTACHMENT F**

**FORM OF NON-COLLUSIVE AFFIDAVIT**

State of \_\_\_\_\_

County of \_\_\_\_\_

\_\_\_\_\_, being first duly sworn, deposes and says that:

(1) He/She is \_\_\_\_\_ of \_\_\_\_\_, the Vendor that has submitted the attached Proposal:

(2) He/She is fully informed respecting the preparation and contents of the attached Proposal and of all pertinent circumstances respecting such Proposal;

(3) Such Proposal is genuine and not collusive or sham; that said vendor has not colluded, conspired, connived or agreed, directly or indirectly, with any bidder or person to put in a sham bid or to refrain from bidding and has not, in communications or conference, with any person, agreed to fix any overhead, profit or cost element of said bid price, or that of any other bidder, or to secure any advantage against the Frist Art Museum, the Metropolitan Development and Housing Agency or any other person interested in the proposed contract; and that all statements in said proposal or bid are true; and;

(4) Any professional fees arrived at during negotiations must be fair and proper and are not to be tainted by any collusion, conspiracy, connivance, or unlawful agreement on the part of the Professional or any of its agents, representatives, owners, employees or parties in interest, including this affidavit.

(Signed)\_\_\_\_\_

\_\_\_\_\_  
Title

Sworn to and subscribed before me on this \_\_\_\_\_ day of \_\_\_\_\_

ATTACHMENT G

CONTRACTOR DRUG-FREE WORKPLACE AFFIDAVIT STATE

OF TENNESSEE

COUNTY OF \_\_\_\_\_

1. Now Comes Affiant, who being duly sworn, deposes and says:

2. He/She is the principal officer for \_\_\_\_\_  
\_\_\_\_\_

3. That the bidding entity has submitted a bid to \_\_\_\_\_  
\_\_\_\_\_ for the construction of \_\_\_\_\_  
\_\_\_\_\_.

4. That the affiant certifies that the bidding entity has in effect, at the time of submission of its bid to perform the construction referred to above, a drug-free workplace program that complies with Tennessee Code Annotated § 50-9-113.

5. That this affidavit is made on personal knowledge. Further  
affiant saith not.

\_\_\_\_\_  
AFFIANT

STATE OF \_\_\_\_\_ COUNTY  
OF \_\_\_\_\_

Before me personally appeared \_\_\_\_\_, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who acknowledged that such person executed the foregoing affidavit for the purposes therein contained.

Witness my hand and seal at office this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Notary Public

My commission expires: \_\_\_\_\_, 20\_\_

## ATTACHMENT H

### HUD SECTION 3 BIDDER CERTIFICATION & COMPLIANCE AGREEMENT

(FOR MDHA TRACKING PURPOSES ONLY)

The bidder/ proposer represents and certifies as part of its bid/ proposal offer the following:

\_\_\_\_\_ Is a Section 3 Business concern in accordance with HUD “Enhancing and Streamlining the Implementation of Section 3 Requirements for Creating Economic Opportunities for Low- and Very Low- Income Persons and Eligible Businesses” and the HUD Act of 1968, as amended 12 U.S.C. 1701u) (Section 3) 24 CFR Part 75. A Section 3 Business concern means a business that has met at least one of the following criteria documented within the last six (6) month period and anticipates that they will continue to meet at least one of the following criteria after submitting their bid/proposal:

1. At least 51% owned and controlled by low-or very-low income persons;
2. Over 75% of the labor hours performed for the business over the prior three (3) month period were performed by low or very low-income persons; or
3. It is a business at least 51% owned and controlled by current public housing residents or residents who currently live in Section 8 assisted housing.

\_\_\_\_\_ Is Not a Section 3 Business concern.

# **ATTACHMENT I**

Frist Art Museum Window Test Report - 2021

## Range Projects

2801 Dodds Ave.  
Chattanooga, TN 37407  
423.498.2950

# Frist Mark E Window Exploration Report

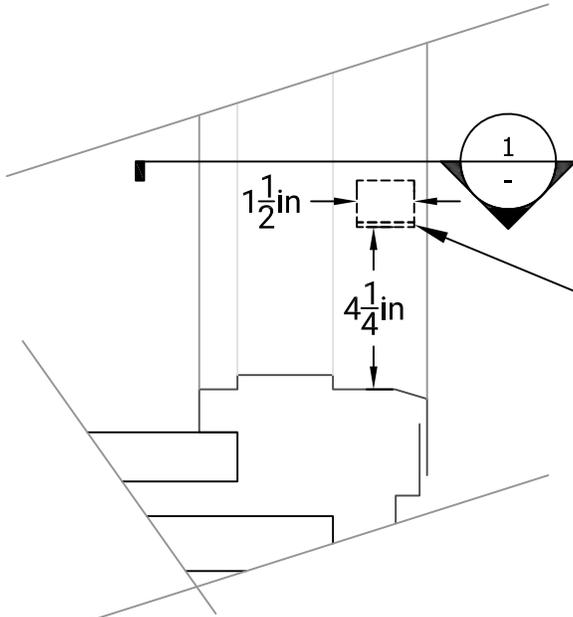
January 4, 2021

## Findings

From September 27, 2020 to October 16, 2020, Range Projects performed selective demolition and interior inspection of the Mark E Window. The photographs of the scope for each section all show that there are various stages of corrosion and calving of the steel subframe of the windows, with the greatest damage located within the ground level of the frame of Mark E Window. There was minimal ability to actually determine the attachment points of the frame to the surrounding rough opening of the structure due to a large amount of grout, stone, and waste brick filling most of the openings. The sill area of the 2nd level (section B) was too full of grouted debris to scope as shown in the photo documentation. The scoping of the remaining areas was more successful.

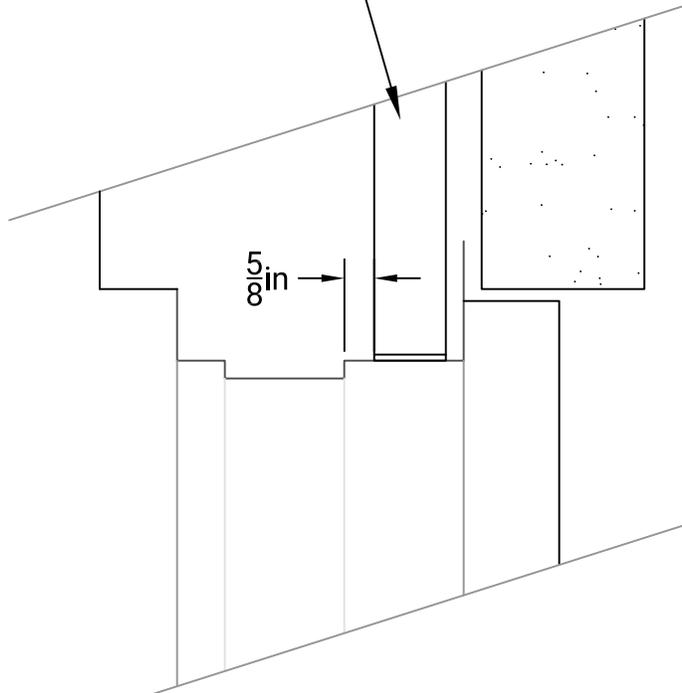
One brick strap was located and there is a CAD drawing and PDF of its location included with this report along with the photo documentation showing its orientation and the condition of the surrounding area. No other straps or anchoring means were observed in any of the other locations that were scoped. Seeing the condition and location of the strap along with the lack of seeing any other means of anchorage, it is likely that these straps are not in uniform locations, so the one located must be assumed to be representative of the type and condition of the straps but not necessarily the location.

Included in the photo documentation are also some examples of the worst areas of corrosion. These are all along the A section (lower) of the Mark E Window. These areas have been patched and repaired along with smaller spot areas that were necessary for recoating.



Strap anchor location when exposed.

2 Window Sill  
scale: 3"=1'-0"



1 Window Jamb  
scale: 3"=1'-0"



PROJECT  
20052 - Frist Windows

TITLE  
Jamb & Sill Details  
Strap location per inspection  
Location may not be consistent throughout building

APPROVED	SIZE	CODE	DWG NO	REV
CHECKED	A		20052-FLD-StrapLocation	
DRAWN	Brady Fulton	10/30/2020	SCALE 2:1	WEIGHT
				SHEET 1/1



Anchor strap detail photo of weld to subframe jamb on the right. Strap secured to masonry on left at the mortar joint between solid bricks.



Exploratory demolition of the jamb/sill at the ground floor. The anchor strap detail photo was taken in the opening in the East side of the subframe on the left side of the photo. Clayblock is visible on the left.



Typical masonry construction example. This is a view of the attic area directly above the test window. The interior side of the subframe is adjacent to the clay block material seen at the right. The anchor strap appears to be inserted between brick courses in the solid brick material seen on the left.



PROJECT

20052 - Frist Windows

TITLE

Jamb & Sill Details  
Strap location per inspection

Location may not be consistent throughout building

APPROVED

CHECKED

DRAWN

Brady Fulton

10/30/2020

SIZE

A

CODE

DWG NO

20052-FLD-StrapLocation

REV

DRAWN

Brady Fulton

10/30/2020

SCALE

WEIGHT

SHEET 1/1



Details of the condition of the subframe jamb where it meets the sill on the ground floor.

Mortar directly behind the subframe jamb less than 1 ft above where it meets the sill at ground floor.



PROJECT

20052 - Frist Windows

TITLE

Jamb & Sill Details

Location may not be consistent throughout building

APPROVED

SIZE

CODE

DWG NO

REV

CHECKED

A

20052-FLD-StrapLocation

DRAWN

Brady Fulton

10/30/2020

SCALE

WEIGHT

SHEET 1/1



Selective demolition of the subframe at the sill on on the ground floor - 2B.



Selective demolition of the subframe at the sill on on the ground floor - detail of metal condition at 2B.



Selective demolition of the subframe at the sill on on the ground floor. - 2B



Selective demolition of the subframe at the sill on on the upper level above the decorative spandrel.



PROJECT

20052 - Frist Windows

TITLE

Jamb & Sill Details

Location may not be consistent throughout building

APPROVED

SIZE

CODE

DWG NO

REV

CHECKED

A

20052-FLD-StrapLocation

DRAWN

Brady Fulton

10/30/2020

SCALE

WEIGHT

SHEET 1/1



Selective demolition of the decorative spandrel and a view onto the solid brick masonry behind it. The spandrel appears to be secured to the masonry via rods inserted into the brick and mortar.



PROJECT

20052 - Frist Windows

TITLE

**Decorative Spandrel Details**

Location may not be consistent throughout building

APPROVED

CHECKED

DRAWN

Brady Fulton

10/30/2020

SIZE

A

CODE

DWG NO

20052-FLD-StrapLocation

REV

DRAWN

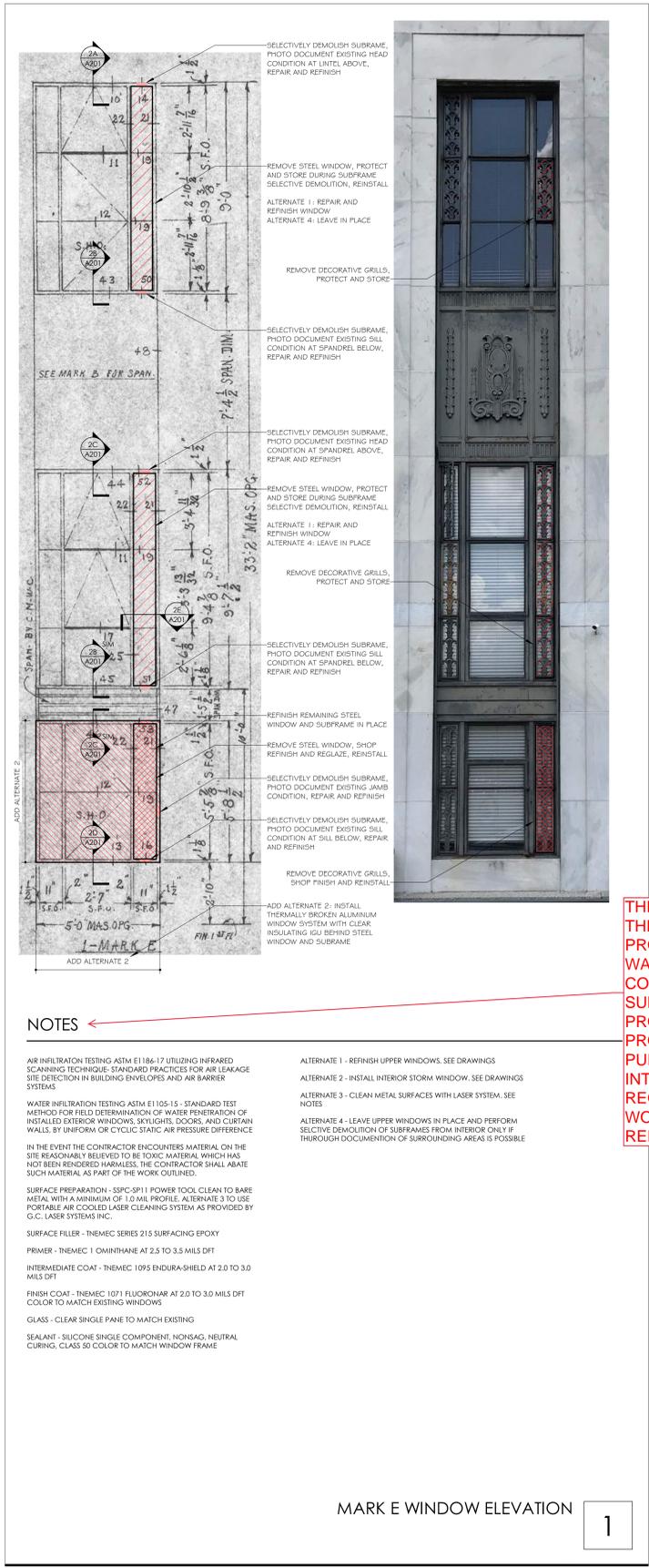
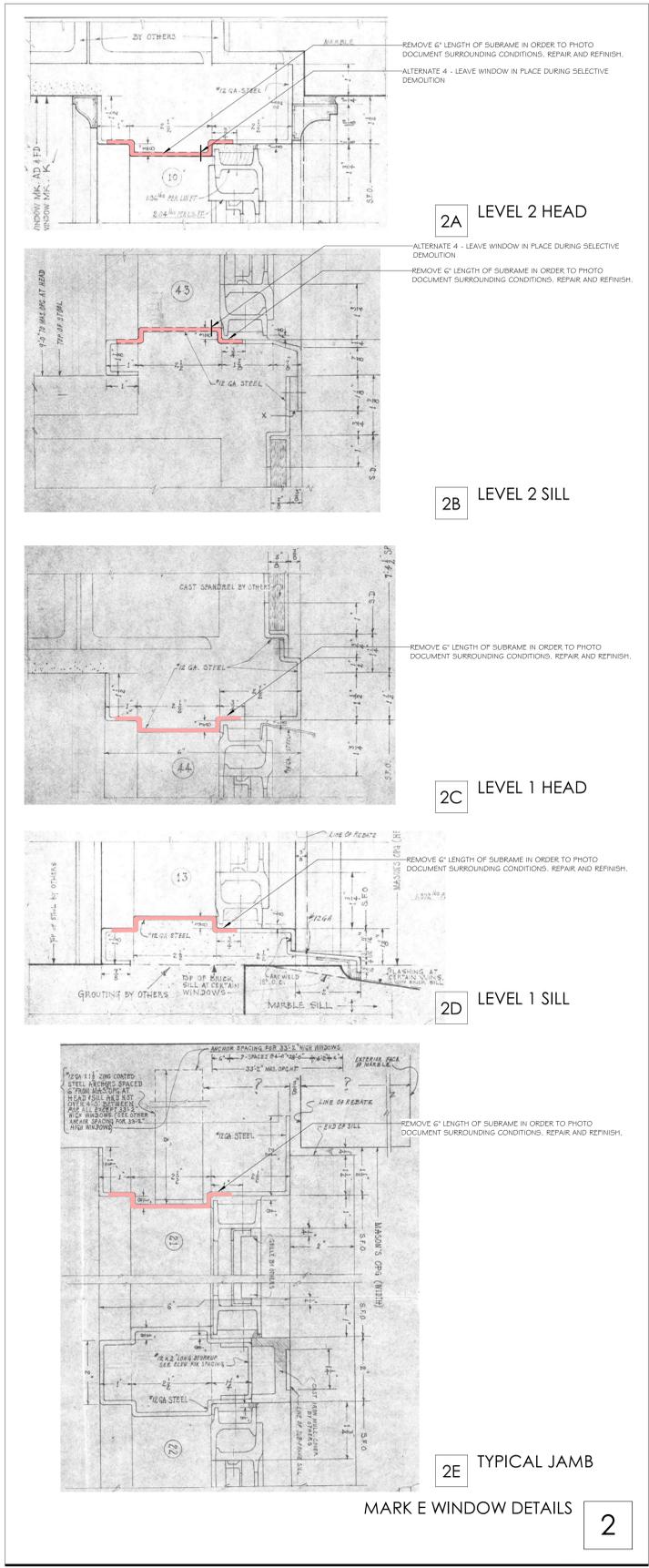
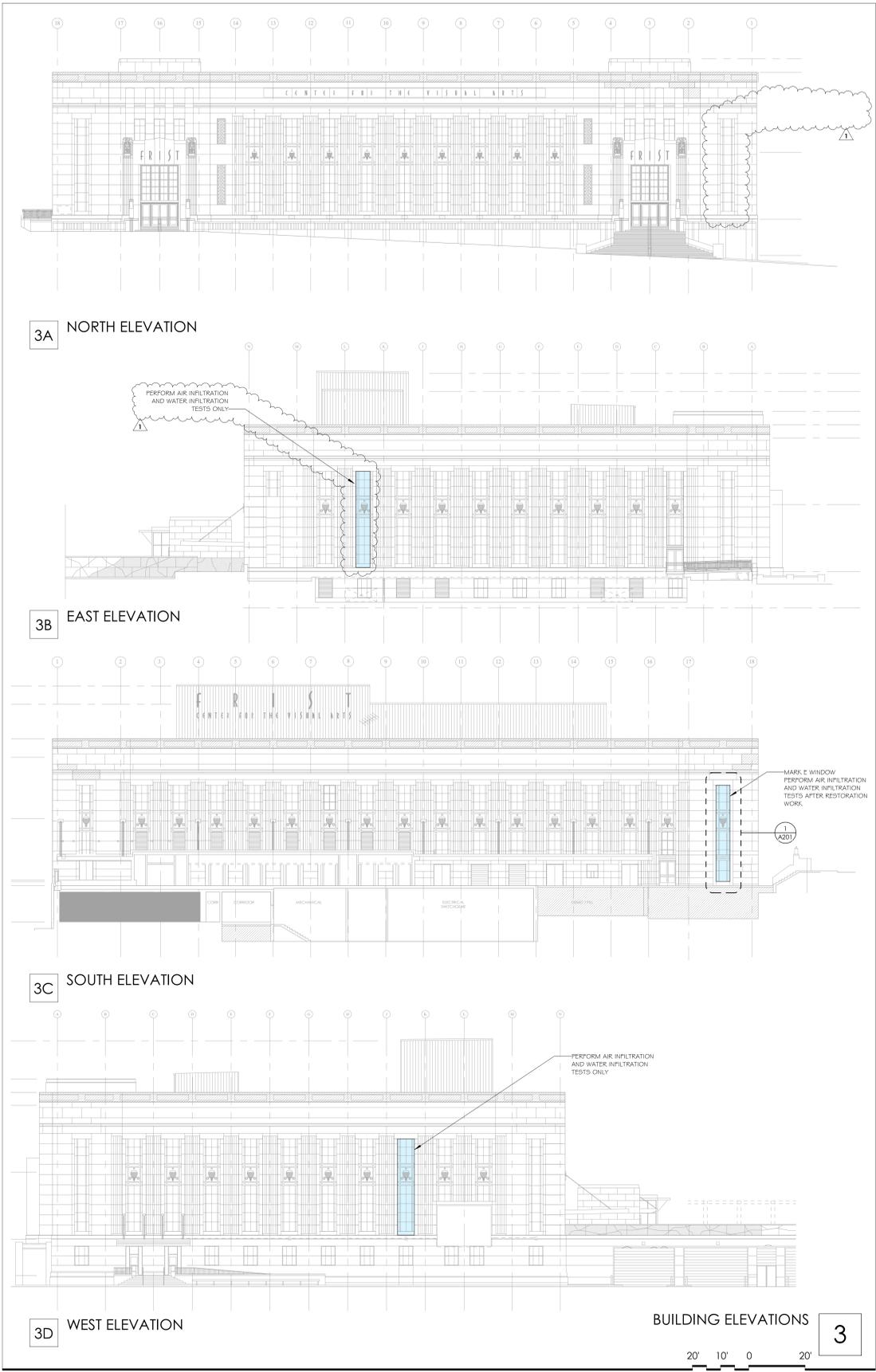
Brady Fulton

10/30/2020

SCALE

WEIGHT

SHEET 1/1



**THIS IS THE SCOPE OF WORK FOR THE ORIGINAL WINDOW TEST PROJECT EXECUTED IN 2020. IT WAS AWARDED TO R.C. MATHEWS CONTRACTORS WORKING WITH A SUBCONTRACTOR - RANGE PROJECTS. THIS IS BEING PROVIDED FOR INFORMATION PURPOSES ONLY AND IS INTENDED TO OFFER CLARITY REGARDING THE DISCOVERY WORK UNDERTAKEN AND REPORTED HERE.**

**NOTES**

- AIR INFILTRATION TESTING ASTM E1184-17 UTILIZING INFRARED SCANNING TECHNIQUES. STANDARD PRACTICES FOR AIR LEAKAGE SITE DETECTION IN BUILDING ENVELOPES AND AIR BARRIER SYSTEMS.
- WATER INFILTRATION TESTING ASTM E1106-13. STANDARD TEST METHOD FOR FIELD DETERMINATION OF WATER PENETRATION OF INSTALLED EXTERIOR WINDOWS, SKYLIGHTS, DOORS, AND CURTAIN WALLS BY UNIFORM OR CYCLIC STATIC AIR PRESSURE DIFFERENCE.
- IN THE EVENT THE CONTRACTOR ENCOUNTERS MATERIAL ON THE SITE REASONABLY BELIEVED TO BE TOXIC MATERIAL, WHICH HAS NOT BEEN RENDERED HARMLESS, THE CONTRACTOR SHALL ABATE SUCH MATERIAL AS PART OF THE WORK OUTLINED.
- SURFACE PREPARATION - SSPC-SP11 POWER TOOL CLEAN TO BARE METAL WITH A MINIMUM OF 1.0 MIL PROFILE. ALTERNATE 3 TO USE PORTABLE AIR COOLED LASER CLEANING SYSTEM AS PROVIDED BY G.C. LASER SYSTEMS INC.
- SURFACE FILLER - TNEPEC SERIES 215 SURFACING EPOXY
- PRIMER - TNEPEC 1 OMINTHANE AT 2.5 TO 3.5 MILS DFT
- INTERMEDIATE COAT - TNEPEC 1095 ENDURA-SHIELD AT 2.0 TO 3.0 MILS DFT
- FINISH COAT - TNEPEC 1071 FLUORONAR AT 2.0 TO 3.0 MILS DFT COLOR TO MATCH EXISTING WINDOWS.
- GLASS - CLEAR SINGLE PANE TO MATCH EXISTING
- SEALANT - SILICONE SINGLE COMPONENT, NONSAG, NEUTRAL CURING, CLASS 50 COLOR TO MATCH WINDOW FRAME.
- ALTERNATE 1 - REFINISH UPPER WINDOWS. SEE DRAWINGS
- ALTERNATE 2 - INSTALL INTERIOR STORM WINDOW. SEE DRAWINGS
- ALTERNATE 3 - CLEAN METAL SURFACES WITH LASER SYSTEM. SEE NOTES
- ALTERNATE 4 - LEAVE UPPER WINDOWS IN PLACE AND PERFORM SELECTIVE DEMOLITION OF SUBFRAMES FROM INTERIOR ONLY IF THOROUGH DOCUMENTATION OF SURROUNDING AREAS IS POSSIBLE

**GRAPHIC SYMBOLS**

- Windows to be air and water infiltration tested
- Area of selective demolition
- Windows to be removed, protected and stored, and reinstalled
- Windows to be removed, refinished and reglazed in the shop and reinstalled
- Windows and subframes to be refinished in place

**REPRESENTATIVE EXISTING PHOTOGRAPHY**



**ELEVATION REFERENCE**



## ATTACHMENT J

### DIVERSITY BUSINESS ENTERPRISE PARTICIPATION

#### 1. Diversity Business Enterprise Policy

It is the policy of FAM to assist minority, women and small business enterprise firms in their aspirations of viability and growth, which support a more stable economic community. To this extent, we join with community agencies and organizations that support these businesses to create greater opportunities for these entrepreneurs in the attainment of mutually beneficial social and economic objectives. Minority, women and small business enterprise firms will be given the maximum practicable opportunity, consistent with efficient performance, to compete for and participate in contracts, subcontracts, purchase orders and other procurement activities.

#### 3. Definitions For Determining Minority, Women And Small-Owned Firms.

The guidelines for determining minority, women and small-owned firms are defined as follows:

“**MINORITY**” means a person who is a citizen or lawful permanent resident of the United States and who is:

- Black (a person having origins in any of the black racial groups of Africa);
- *f* Hispanic (a person of Mexican, Puerto Rican, Cuban, Central or South American, or other Spanish culture or origin, regardless of race);
- *f* Asian American (a person having origins in any of the original peoples of the Far East. Southeast
- *f* Asia, the Indian subcontinent, or the Pacific Islands); or
- American Indian and Alaskan Native (a person having origins in any of the original peoples of North America).

**“MINORITY BUSINESS ENTERPRISE”** shall mean a minority business:

A continuing, independent, for profit business which performs a commercially useful function, and is at least 51 percent owned and controlled by one or more minority

individuals; or, in the case of any publicly owned business, at least 51 percent of the stock of which is owned and controlled by one or more minorities. Whose management and daily business operations are controlled by one or more of minority individuals. “Control” as used in the above clause, means exercising the power to make policy decision. “Operate,” as used in the above clause, means being actively involved in the day-to-day management of the business.

**“WOMEN BUSINESS ENTERPRISE”** shall mean women business:

A continuing, independent, for profit business which performs a commercially useful function, and which is at least 51 percent owned and controlled by one or more women; or, in the case of any publicly owned business, at least 51 percent of the stock of which is owned and controlled by one or more women. Whose management and daily business operations are controlled by one or more of such individuals. “Control” as used in the above clause, means exercising the power to make policy decision. “Operate,” as used in the above clause, means being actively involved in the day-to-day management of the business.

**SMALL BUSINESS ENTERPRISE AS DEFINED IN SECTION 4.44.010 OF THE METROPOLITAN CODE OF LAWS;**

A Small Business satisfies all of the following criteria:

- (a) A United States business which is independently owned and operated, and which is not dominant in its field of operation or an affiliate or subsidiary of a business dominant in its field of operation.
- (b) Either has no more than the following number of employees or has no more than the following annual sales volume for the applicable industry; and

INDUSTRY	ANNUAL SALES VOLUME	MAXIMUM NUMBER OF EMPLOYEES*
Agriculture, Forestry, Fishing	\$500,000	9
Architectural/Design/Engineering	\$2,000,000	30
Construction	\$2,000,000	30
Educational	\$1,000,000	9
Finance, Insurance, Real Estate	\$1,000,000	9
Information Systems/Technology	\$2,000,000	30
Manufacturing	\$2,000,000	99
Marketing/Communications/Public Relations	\$2,000,000	30
Medical/Healthcare	\$2,000,000	30
Mining	\$1,000,000	49
Retail Trade	\$750,000	9

Service Industry	\$500,000	9
Transportation, Commerce and Utilities	\$1,000,000	9
Wholesale Trade	\$1,000,000	19

(c) Meets the following additional criteria:

1. Has demonstrated capability to perform independently a substantial portion of the contract they seek, or a substantial portion or the subcontract for which they are proposed by a bidder or offeror, as specified by the Purchasing Agent;
2. Not share or jointly use office space, production, marketing and sales, business support systems, personnel, or equipment with any business not classified by the Metropolitan Government of Nashville and Davidson County as a small business (i.e., a large business);
3. Has existed as a legal business entity for a minimum of one year (twelve months of continuous business enterprise), performing independently and satisfactorily and achieving a minimum of \$35,000.00 sales income (collected sales dollars not simply booked sales);
4. Not to be owned, controlled, or directed by individuals or groups of individuals who own, control or direct a large business involved in the same category of work as the business for which small business status is sought;
5. If a supplier, be an authorized regular distributor with normal wholesale agreements for the Product or products to be supplied; and
6. If a construction contractor, be licensed as required by the state to perform the work for which it has submitted a bid or has been proposed by a prime as a subcontractor.

\*NOTE: Employee means a person (or persons) employed on a full-time (or full-time equivalent), a permanent basis. Full-time equivalent includes employees who work 30 hours per week or more. Full-time equivalent also includes the aggregate of employees who work less than 30 hours a week, where the work hours of such employees add up to at least 40 hour work week. The totality of the circumstances, including factors relevant for tax purposes, will determine whether persons are employees of a concern. Temporary employees, independent contractors or leased employees are not employees for these purposes. The owner(s) are excluded from this classification.

Minority, women and small-owned firms are required to provide proof of their eligibility in accordance with these guidelines.

#### **4. Utilization of Diversity Business Enterprise Firms**

Proposers are encouraged to consider the services of minority, women and small business firms. Proposers will be awarded a maximum of five (5) bonus points if they utilize Diversity Business Enterprise firms as part of their contractual obligation.

#### **5. DBE Form Submission**

Proposers will submit with their bid FAM DBE Form 2021 indicating the Proposer's status as a DBE contractor, an intent to employ a DBE contractor, the percentage of the total project that would be executed by a DBE firm, the type of work executed by the DBE contractor, and the total dollar amount that would be paid to DBE firms.

**6. Program Questions/Information**

Questions regarding the DBE incentive Program and requests for information should be directed to:

Hans Schmitt-Matzen  
Director of Internal Affairs  
Frist Art Museum  
Nashville, TN 37203  
hmatzen@fristartmuseum.org  
615.804.7414

**6. MDHA DBE Directory**

To assist Contractors with contacting DBE firms, Contractors are encouraged to visit the MDHA Website at [www.nashville-mdha.org/diversity-business-enterprise-program/](http://www.nashville-mdha.org/diversity-business-enterprise-program/). Contractors can download the MDHA Vendor Database at this website to make contact with DBE firms.

**ATTACHMENT K**

**FAM DBE FORM - 2021**

**TRACKING % OF DBE FIRMS EMPLOYED AND TOTAL DBE DOLLARS**

**FORM 2021**

**FRIST ART MUSEUM DIVERSITY BUSINESS ENTERPRISE (DBE) PROPOSED  
UTILIZATION PLAN  
IMPORTANT - THIS DOCUMENT MUST BE SUBMITTED WITH A PROPOSAL**

<b>COMPANY NAME:</b>	<b>COMPLETE ADDRESS AND PHONE NUMBER:</b>
<b>PROJECT NAME:</b>	<b>DATE FORM SUBMITTED:</b>

The above named company proposes to use the services of the following listed DBE firms. A 0% DBE Utilization is permissible.  
**Fill in below if above named company is a certified DBE company and will be self-performing on the project. Enter any DBE Subcontractors also.**

DBE NAME/ADDRESS/TELEPHONE	<i>(Please Indicate Status)</i>			Certifying Agency	Type of Work	DBE DOLLARS	DBE %
	MBE	WBE	SBE				
<b>MBE Dollars/Percentage:</b>	<b>\$</b>			<b>%</b>			
<b>WBE Dollars/Percentage:</b>	<b>\$</b>			<b>%</b>			
<b>SBE Dollars/Percentage:</b>	<b>\$</b>			<b>%</b>			
<b>Total DBE Dollars/Percentage</b>							

**Signature/Title:**