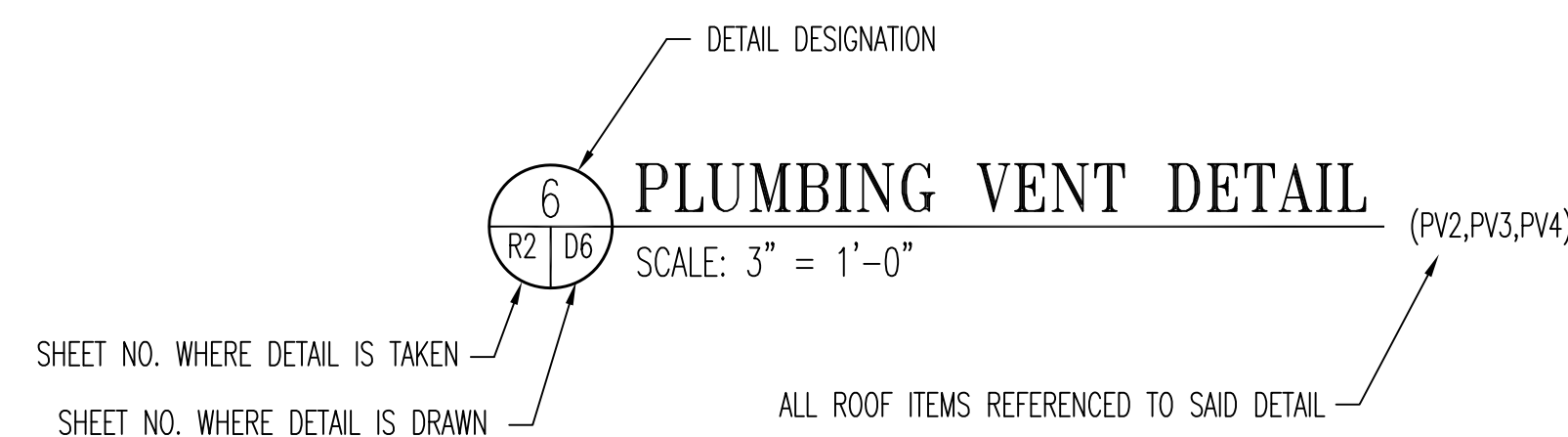


**ROOF RECOVER AND SPECIFIED REPLACEMENT
FRIST ART MUSEUM
919 BROADWAY
NASHVILLE, TENNESSEE
OCTOBER 4, 2021**

ABBREVIATIONS

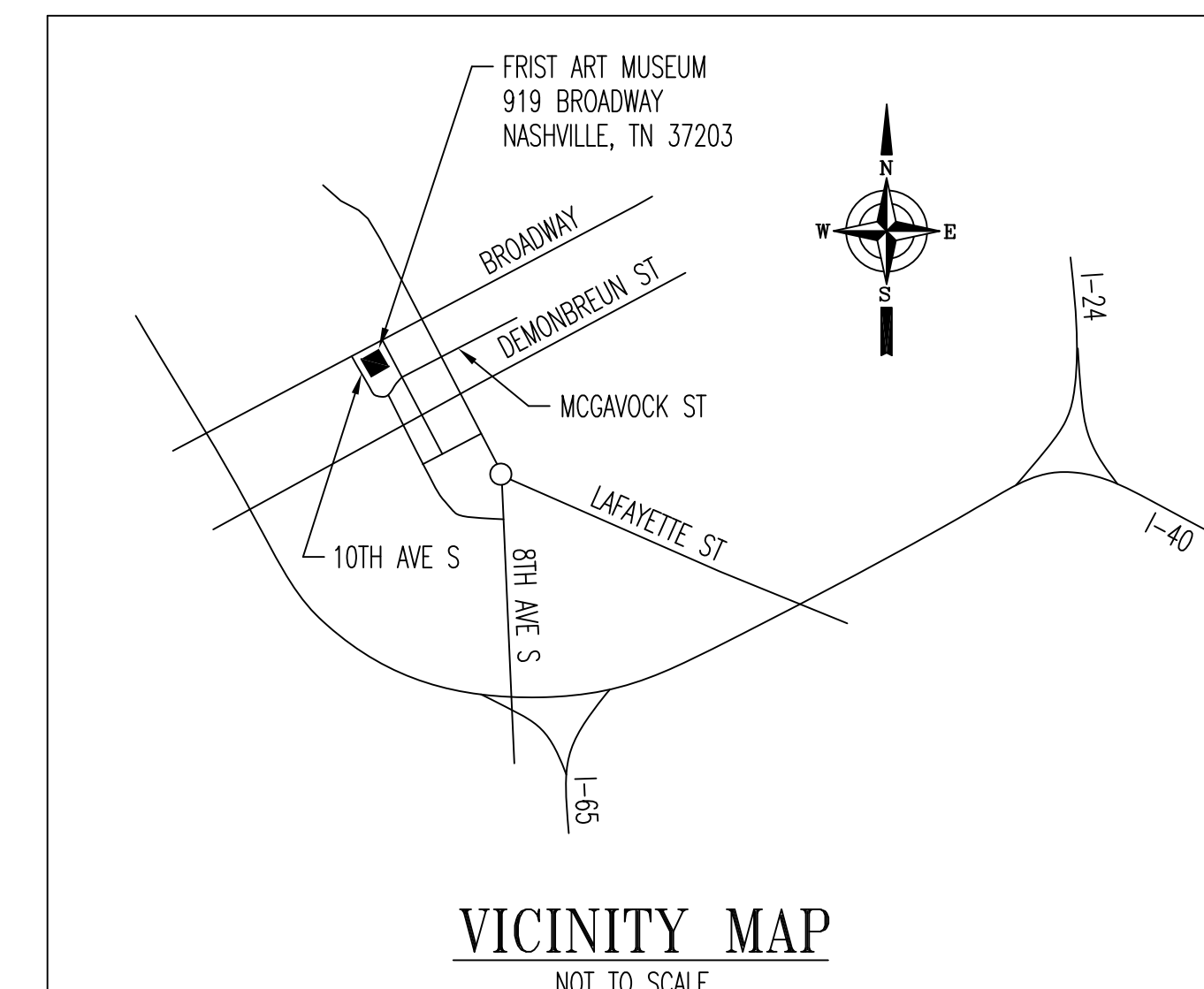
C.C.	CENTER TO CENTER
MIN.	MINIMUM
±	PLUS OR MINUS
MAX.	MAXIMUM
S.F.	SQUARE FEET
TYP.	TYPICAL
SIM.	SIMILAR
PCF	POUNDS PER CUBIC FOOT
RWL	RAINWATER LEADER
BLDG.	BUILDING
INSUL.	INSULATION
TAP.	TAPERED
U.N.O.	UNLESS NOTED OTHERWISE
NIC	NOT IN CONTRACT
NDL	NO DOLLAR LIMIT
ISO	ISOCYANURATE
MOD.	MODIFIED
BIT.	BITUMEN
FTR	FIBERTITE

LEGEND



INDEX OF DRAWINGS

INDEX OF DRAWINGS		
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T1	1 OF 10	TITLE SHEET
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R1	3 OF 10	DEMOLITION ROOF PLAN
R2	4 OF 10	NEW ROOF PLAN
D1	5 OF 10	NEW ROOF DETAILS
D2	6 OF 10	NEW ROOF DETAILS
D3	7 OF 10	NEW ROOF DETAILS
D4	8 OF 10	NEW ROOF DETAILS
D5	9 OF 10	NEW ROOF DETAILS
D6	10 OF 10	NEW ROOF DETAILS



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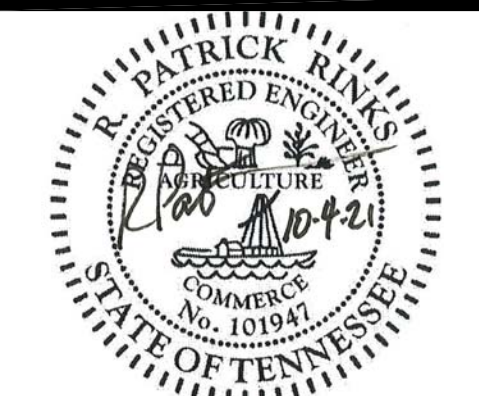
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ROOF RECOVER AND
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FRIST ART MUSEUM
919 BROADWAY
NASHVILLE, TENNESSEE
OCTOBER 4, 2021
TITLE SHEET

NO SCALE

T1	SHEET 1 OF 10
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GENERAL NOTES

- COORDINATE ALL WORK WITH LOCAL OFFICIALS AND THE OWNER.
- TIME FOR THIS PROJECT IS 90 CONSECUTIVE CALENDAR DAYS. AFTER THIS EXPIRES, LIQUIDATED DAMAGES WILL BE ASSESSED AT 200 DOLLARS PER DAY.
- CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO KEEP ODOR TO A MINIMUM. CONTRACTOR SHALL COVER ALL AIR INTAKES ON NORTH SIDE OF SOUTH PENTHOUSE WHEN ROOFING NEAR THEM.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO ALLOW FRIST WORK/VISITATION SCHEDULES TO CONTINUE UNINTERRUPTED DUE TO FUMES OR ODOR.
- CONTRACTOR SHALL NOT TEAR OFF EXISTING ROOFS WHEN FORECAST FOR PRECIPITATION IS 30% OR GREATER. CONTRACTOR SHALL INSTALL NEW ROOF ONLY WHEN TEMPERATURE IS 40 DEGREES AND RISING.
- PRIOR TO BEGINNING WORK, CONTRACTOR SHALL PHOTOGRAPH ANY AREAS OF PRE-EXISTING DAMAGE (WINDOWS, SIDEWALKS, SHRUBS, ETC.). A COPY OF THE PHOTOGRAPHS SHALL BE GIVEN TO THE OWNER AND DESIGNER. ANY UNDOCUMENTED AREAS OF DAMAGE WILL BE THE CONTRACTOR'S RESPONSIBILITY.
- CONTRACTOR SHALL VERIFY THAT ALL ROOF DRAINS ARE OPERATIONAL BEFORE BEGINNING WORK AND SHALL FLOOD TEST EACH DRAIN AND CONNECTION PRIOR TO SUBSTANTIAL COMPLETION.
- CONTRACTOR SHALL REPORT ANY ISSUES WITH DRAINS PRIOR TO STARTING WORK. CONTRACTOR WILL BE RESPONSIBLE FOR CLEARING CLOGGED DRAINS DISCOVERED DURING AND/OR AT END OF PROJECT.
- RELOCATE CABLES ON ROOF AS REQUIRED TO INSTALL NEW ROOF.
- UNLESS SHOWN TO BE THRU-FASTENED, ALL NEW LOW SLOPE PERIMETER/EDGE METAL SHALL MEET OR EXCEED CODE REQUIRED ES-1 ATTACHMENT REQUIREMENTS.
- ALL MECHANICAL, PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY A TENNESSEE LICENSED CONTRACTOR.
- THE CONTRACTOR AND ROOF SYSTEM MANUFACTURER SHALL SIGN THE ROOF WARRANTY MEMORANDUM OF UNDERSTANDING LOCATED IN SPECIFICATIONS.
- CONTRACTOR SHALL ADHERE TO ALL OSHA AND TOHSA REQUIREMENTS. OWNER AND DESIGNER ARE NOT RESPONSIBLE FOR CONTRACTOR'S SAFETY.
- CONTRACTOR SHALL VERIFY LOCATION OF UTILITIES ON UNDERSIDE OF METAL DECKS. ANY UTILITIES DAMAGED DURING ROOF INSTALLATION AND SUBSEQUENT DAMAGE SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
- LIGHTNING ARRESTER SYSTEM IS EXISTING. CONTRACTOR SHALL REMOVE AND REINSTALL TO EXISTING CONDITION. DESIGNER OFFERS NO OPINION WHATSOEVER CONCERNING THE PERFORMANCE OF SYSTEM. OWNER HAS PERFORMED A CONTINUITY TEST ON EXISTING SYSTEM AND WILL PERFORM ANOTHER TEST UPON COMPLETION OF PROJECT TO VERIFY SIMILAR RESULTS. CONTRACTOR SHALL REPAIR ANY ISSUES WITH SYSTEM DUE TO THEIR WORK.
- ALL CONTRACTOR'S EMPLOYEES WILL BE REQUIRED TO PASS A BACKGROUND INVESTIGATION IN ORDER TO WORK ON THIS PROJECT. INVESTIGATION WILL BE CONDUCTED BY OWNER.
- ROOF VENT MANUFACTURER SHALL SIZE AND LOCATE ALL VENTS AND PROVIDE A DRAWING AND CALCULATIONS STAMPED BY AN ENGINEER REGISTERED IN TENNESSEE.
- INCLUDE IN BASE BID A PRICE TO ACCESS MAIN LEVEL ROOF ON EXTERIOR OF WEST SIDE OF BUILDING (STAIR TOWER). ACCESS SHALL BE PRE-ENGINEERED AND MEET ALL OSHA AND TOHSA REQUIREMENTS. CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PREVENT UNAUTHORIZED ACCESS INTO THE BUILDING OR ONTO THE ROOF. PROVIDE AND INSTALL 10' TALL PLYWOOD AROUND PERIMETER OF BASE WITH LOCKABLE 3' WIDE GATE AND 45' BRACKETS WITH TWO STRANDS OF RAZOR WIRE AT TOP OF PLYWOOD. COORDINATE LOCATION OF ACCESS WITH OWNER.
- REMOVE STRUCTURE AND REPAIR BUILDING/GROUNDS UPON COMPLETION OF PROJECT. CONTRACTOR SHALL NOT ACCESS ROOF THROUGH INSIDE OF BUILDING.
- CAPPING OF TWO ABANDONED ROOF DRAINS SHALL BE COORDINATED WITH OWNER FOR A TIME NO ARTWORK IS IN GALLERIES BELOW.
- CONTRACTOR SHALL COORDINATE WORK WITH OWNER'S STEEL FABRICATOR INSTALLING LADDERS, LANDINGS AND STEPS.
- BOTTOM OF LOUVERS ABOVE SOUTH CANOPY ROOF ARE TO BE BLOCKED UP TO PROVIDE ADDITIONAL FLASHING HEIGHT.
- OWNER WILL INVESTIGATE AND REPAIR ANY ISSUES RESULTING FROM REDUCING THE SIZE OF LOUVERS.

WOOD BLOCKING ATTACHMENT

EXISTING PERIMETER WOOD BLOCKING IN GOOD CONDITION MAY REMAIN PROVIDED IT MEETS THE ATTACHMENT REQUIREMENTS BELOW. PROVIDE CREDIT TO OWNER.

MINIMUM WOOD BLOCKING SIZE SHALL BE 2X6
NEW PERIMETER WOOD BLOCKING SHALL BE ATTACHED TO THE STRUCTURE WITH BOLTS, SCREWS OR SPIKES AS APPROPRIATE THROUGH ALL THICKNESSES OF BLOCKING TO MEET THE ATTACHMENT REQUIREMENTS BELOW.

ATTACHMENT REQUIREMENTS

ALL EXISTING AND NEW WOOD BLOCKING ATTACHMENTS SHALL BE IN ACCORDANCE WITH ES-1 AND FM 1-49 REQUIREMENTS AND SHALL RESIST A MINIMUM FORCE OF 200 POUNDS PER LINEAR FOOT IN ANY DIRECTION.

DO NOT COUNTERSINK NUTS/FASTENER HEADS LOWER THAN THE TOP OF THE WOOD BLOCKING BEING ATTACHED.

THE SPACING OF THE FASTENERS MAY VARY AS REQUIRED TO ACHIEVE THIS STANDARD.
SPACING OF FASTENERS AT CORNERS SHALL BE CUT IN HALF.
DIMENSION OF CORNERS SHALL BE PER ES-1 AND FM 1-49 REQUIREMENTS BUT A MINIMUM OF 4'x4'.

TABLE OF UNIT PRICE QUANTITIES INCLUDED IN BASE BID

ITEM	QUANTITY
1/2" XPS INSULATION S.F.	250
1.5" XPS INSULATION S.F.	7,000
TAPERED XPS INSULATION B.F.	3,000
TWO-PLY MODIFIED BITUMEN ROOFING S.F.	8,000
SBS VAPOR BARRIER S.F.	1,000

INCLUDE IN THE BASE BID THE REMOVAL AND REPLACEMENT OF THE LISTED ITEMS. QUOTE PRICE PER INDICATED UNIT.
CONTRACT AMOUNT WILL BE ADJUSTED UP OR DOWN BASED ON ACTUAL UNITS REMOVED AND REPLACED AT QUOTED UNIT PRICE.

QUANTITIES ABOVE DO NOT INCLUDE NORTHWEST, NORTHEAST AND SOUTHEAST PENTHOUSES OR EXISTING CANT/AIR SEAL LOCATIONS.

DEMOLITION SCOPE OF WORK

- CLEAN AND SWEEP ROOF SURFACE AS REQUIRED. REMOVE AND PROPERLY DISPOSE OF ALL LOOSE GRANULES.
- AT NORTHWEST, NORTHEAST AND SOUTHEAST PENTHOUSES, REMOVE AND PROPERLY DISPOSE OF ALL DEBRIS, ROOF SYSTEMS SHOWN ON DEMOLITION ROOF PLAN AND FLASHINGS TO VAPOR BARRIER. REPAIR VAPOR BARRIER AS REQUIRED.
- AT NORTHWEST LOW CANOPY, REMOVE AND PROPERLY DISPOSE OF BALLAST AND EPDM MEMBRANE TO ISOCYANURATE INSULATION.
- AT INDICATED WET AREAS, REMOVE AND PROPERLY DISPOSE OF ROOF AND ALL LAYERS OF WET INSULATION TO VAPOR BARRIER (SEE TABLE THIS SHEET). RECOMMEND START IN CENTER OF AREA AND WORK OUT UNTIL DRY MATERIALS ARE FOUND. VERIFY WET MATERIALS WITH DELMHORST METER.
- REMOVE AND PROPERLY DISPOSE OF MEMBRANE, INSULATION AND CANTS AT ALL WALLS AND PENETRATIONS AS REQUIRED TO INSTALL NEW TERMINATION BAR, AIR SEAL AND TO UNCOVER TWO ABANDONED ROOF DRAINS.
- REMOVE AND PROPERLY DISPOSE OF EDGE METAL, METAL COPING, COUNTERFLASHING, GUTTERS AND DOWNSPOUTS AT LOCATIONS SHOWN ON PLANS. EDGE METAL ON LOW CANOPY ROOFS SHALL REMAIN AND BE TRIMMED PER DETAILS.
- REMOVE AND PROPERLY DISPOSE OF PITCH POCKETS AND CAPPED PENETRATIONS AT LOCATIONS SHOWN ON DEMOLITION ROOF PLAN.
- REMOVE AND STORE CAMERAS, CONDUIT, JUNCTION BOXES, LIGHTNING ARRESTERS, CABLES AND LIGHTNING ARRESTER DISCS ON OR ADJACENT TO ROOF AS REQUIRED TO INSTALL NEW ROOF AND FLASHING.
- THREE EXISTING STEEL LADDERS AND TWO SETS OF WOOD LANDINGS AND STEPS WILL BE REMOVED BY OTHERS.
- PERFORM ALL MISCELLANEOUS WORK AT LOCATIONS SHOWN ON DEMOLITION ROOF PLAN.

NEW SCOPE OF WORK

- PROVIDE AND INSTALL ALL NEW WOOD NAILERS, PLYWOOD AND BLOCKING AT LOCATIONS SHOWN ON PLANS AND DETAILS.
- REPLACE WET INSULATION WITH NEW 1/2" OR 1.5" XPS INSULATION (SEE TABLE THIS SHEET).
PROVIDE AND INSTALL NEW COVER BOARD.
FOAM REPLACEMENT INSULATION TO VAPOR BARRIER AND COVER BOARD TO XPS PER NOTE 6 BELOW. ON METAL DECKS, MECHANICALLY ATTACH INSULATION TO DECK PER NOTE 6 BELOW.
PROVIDE AND INSTALL NEW SBS MODIFIED BITUMEN BASE SHEET AND FR SBS MODIFIED BITUMEN WHITE GRANULAR SURFACE CAP SHEET PER MANUFACTURER'S RECOMMENDATIONS (SEE TABLE THIS SHEET).
SBS SHEETS SHALL BE INSTALLED IN COLD ADHESIVE. HOT AIR WELD ALL ENDLAPS AND SIDELAPS. OPEN FLAMES SHALL NOT BE USED ON PROJECT.
TIE TO EXISTING MODIFIED BITUMEN ROOF PER DETAIL 4/D2.
- PROVIDE AND INSTALL NEW 20 GA. SHEET METAL AND SBS VAPOR BARRIER OVER TWO ABANDONED ROOF DRAINS AT LOCATIONS SHOWN ON DEMOLITION ROOF PLAN.
- AT REMOVED CANTS FOR TERMINATION BAR, ALL PENETRATIONS FOR AIR SEAL AND ABANDONED ROOF DRAINS, PROVIDE AND INSTALL NEW MODIFIED BITUMEN BASE SHEET, XPS INSULATION, COVER BOARD, SBS MODIFIED BITUMEN BASE SHEET AND FR SBS MODIFIED BITUMEN WHITE GRANULAR SURFACE CAP SHEET PER MANUFACTURER'S RECOMMENDATIONS. INSURE ALL PERIMETERS AND PENETRATIONS ARE SEALED AIR TIGHT ON CONCRETE DECKS.
- ON NORTHWEST, NORTHEAST AND SOUTHEAST PENTHOUSE ROOFS, PROVIDE AND INSTALL ONE LAYER OF NEW 1.5" XPS INSULATION.
PROVIDE AND INSTALL 1/4" PER FOOT XPS CRICKETS AT LOCATIONS SHOWN ON NEW ROOF PLAN.
PROVIDE AND INSTALL NEW COVER BOARD OVER XPS INSULATION. INSTALL COVER BOARD OVER EXISTING INSULATION ON NORTHWEST LOW CANOPY.
ON METAL DECKS, MECHANICALLY ATTACH ALL LAYERS TO DECK WITH 6 FASTENERS PER 4'x8' BOARD PER DETAIL 4/D4.
ON CONCRETE DECKS, ATTACH XPS INSULATION TO VAPOR BARRIER AND COVER BOARD TO XPS IN A 2-PART ROPE-TYPE FOAM ADHESIVE. PROVIDE BEAD OF FOAM WITHIN 2" OF ALL EDGES OF EACH BOARD IN ADDITION TO MANUFACTURER'S REQUIREMENTS. PLACE FULL 5 GALLON BUCKETS ON BOARDS UNTIL FOAM HAS SET UP. ATTACH ALL LAYERS TO VAPOR BARRIER/XPS PER DETAILS 3/D4.
STAGGER ALL INSULATION JOINTS. ALL INSULATION ATTACHMENTS SHALL BE PER MANUFACTURER'S RECOMMENDATIONS TO OBTAIN WIND PRESSURES SHOWN ON SHEET R2.
- INSURE EXISTING ROOF SURFACE IS DRY USING DELMHORST METER.
- PROVIDE AND INSTALL NEW COVER BOARD. ON MAIN ROOF LEVEL (64' AGL), PROVIDE AND INSTALL NEW VENTILATION CHANNELS ON COVER BOARD PER MANUFACTURER'S RECOMMENDATIONS.
- ON MAIN ROOF LEVEL (64' AGL), PROVIDE AND INSTALL NEW FIBERTITE .060" XT SLATE GRAY, REINFORCED MEMBRANE WITH PRE-ENGINEERED VENTED ROOF SYSTEM PER MANUFACTURER'S RECOMMENDATIONS.
ON NORTHWEST, NORTHEAST AND SOUTHEAST PENTHOUSES, PROVIDE AND INSTALL NEW FIBERTITE .060" XT SLATE GRAY, REINFORCED, FULLY ADHERED ROOF SYSTEM PER MANUFACTURER'S RECOMMENDATIONS.
ON METAL DECKS, PROVIDE AND INSTALL NEW FIBERTITE .060" XT SLATE GRAY, REINFORCED, MECHANICALLY ATTACHED ROOF SYSTEM PER MANUFACTURER'S RECOMMENDATIONS.
MEMBRANE FASTENERS SHALL BE ATTACHED TO EXISTING METAL DECK AT 12" C.C. ON LOW ROOFS AND 6" C.C. ON PENTHOUSE ROOFS. RUN SHEETS PERPENDICULAR TO METAL DECK FLUTES. PROVIDE 1/2 SHEET AT PERIMETERS RUNNING PARALLEL TO METAL DECK FLUTES.
MEMBRANE ATTACHMENT SHALL BE PER MANUFACTURER'S RECOMMENDATIONS TO ACHIEVE WIND LOADS SHOWN ON SHEET R2.
SEE DETAIL 7/D6 FOR TYPICAL FIELD SEAM.
WARRANTY SHALL COVER WINDS UP TO 72 MPH, 1.5" DIAMETER HAIL AND ACCIDENTAL PUNCTURE. IF REQUIRED, UTILIZE MANUFACTURER'S EDGE METAL AND ALL NECESSARY COMPONENTS TO ACHIEVE A 20-YEAR NDL WARRANTY.
1.5" DIAMETER HAIL WARRANTY SHALL COVER DAMAGE FROM HAIL UP TO AND INCLUDING 1.5" IN DIAMETER.
- ADD ALTERNATE 1 - ON LARGE NORTH PENTHOUSE, INSTALL FIBERTITE WHITE LETTERS STATING "FRIST ART MUSEUM". OWNER WILL PROVIDE AND TEMPORARILY PLACE LETTERS FOR CONTRACTOR TO WELD TO NEW MEMBRANE.
- PROVIDE AND INSTALL NEW FIBERTITE WALKPADS AT TOP AND BOTTOM OF LADDERS AND OTHER LOCATIONS SHOWN ON NEW ROOF PLAN. PROVIDE MINIMUM 2" GAPS FOR DRAINAGE.
- PROVIDE AND INSTALL NEW FIBERTITE KYNAR 500 PREFINISHED WELDABLE EDGE METAL AT LOCATIONS SHOWN ON NEW ROOF PLAN AND DETAILS.
- PROVIDE AND INSTALL NEW KYNAR 500 PREFINISHED STEEL COPING, GUTTERS, DOWNSPOUTS AND COUNTERFLASHING AT LOCATIONS SHOWN ON NEW ROOF PLAN AND DETAILS.
- PROVIDE AND INSTALL NEW COPPER COUNTERFLASHING AT LOCATIONS SHOWN ON NEW ROOF PLAN AND DETAILS.
- PROVIDE AND INSTALL EXPANSION JOINTS IN NEW GUTTERS AT 35 FOOT (MAXIMUM) CENTERS (UNLESS NOTED OTHERWISE) PER DETAIL 5/D5.
GUTTERS SHALL RUN CONTINUOUS BETWEEN EXPANSION JOINTS. SHORTER SECTIONS SPliced TOGETHER BETWEEN EXPANSION JOINTS ARE UNACCEPTABLE.
- PROVIDE AND INSTALL MIN. 5,000 PSI CONCRETE SPLASH BLOCKS AT ALL DOWNSPOUT OUTLETS ON ROOF. PLACE ROOF SPLASH BLOCKS ON FIBERTITE WALKPADS WELDED TO ROOF.
- REINSTALL EXISTING CAMERAS, CONDUIT, JUNCTION BOXES, LIGHTNING ARRESTERS, CABLES AND LIGHTNING ARRESTER DISCS ON OR ADJACENT TO ROOF AS REQUIRED AS SOON AS POSSIBLE AFTER INSTALLATION OF NEW ROOF AND FLASHING. AVOID PENETRATIONS THROUGH HORIZONTAL SURFACE (TOP) OF NEW COPING. IF CHOOSE TO REPLACE ARRESTER DISCS, PROVIDE AT 3' C.C.
- PROVIDE AND INSTALL NEW CLAD METAL SHROUDS AT LOCATIONS SHOWN ON NEW ROOF PLAN PER DETAIL 8/D6.
- PROVIDE AND INSTALL NEW FULLY ADHERED .060" EPDM AT EXISTING BUILT-IN GUTTERS PER DETAIL 1/D3 AND NOTES ON SHEET R1.
- AT EXTERIOR PARAPET WALLS AND OTHER INDICATED WALLS, PROVIDE AND INSTALL NEW FURRING STRIPS, 3/4" PLYWOOD AND .050" XT FIBERTITE FLASHING (SEE ELEVATIONS ON SHEET R2). WHERE MEMBRANE IS TERMINATED ON VERTICAL WALLS, USE 1"x1/8" ALUMINUM TERMINATION BAR SET IN WATER CUT-OFF MASTIC WITH FASTENERS @ 8" C.C. ENCAPSULATED IN LAP SEALANT. COVER EXPOSED TERMINATION BARS WITH PREFINISHED METAL PER DETAIL 6/D5.
- REINSTALL EXISTING UTILITY LINE SUPPORTS. REUSE EXISTING SUPPORTS AND PLACE ON WALKPADS PER DETAIL 3/D5.
- SIX NEW LADDERS AND TWO SETS OF LANDINGS AND STEPS WILL BE INSTALLED BY OTHERS AT LOCATIONS SHOWN ON NEW ROOF PLAN
- CONTRACTOR SHALL INCLUDE IN BASE BID A \$30,000.00 ALLOWANCE FOR UNFORESEEN CONDITIONS.
- ENCAPSULATE ALL EXPOSED FASTENERS WITH LAP SEALANT OR CAULKING TO MATCH COLOR OF METAL.
- NO WRINKLES IN FIELD SEAMS OR FLASHING WILL BE ACCEPTED. NO DAMAGE TO WELDED SEAM WILL BE ACCEPTED.
- A COPY OF MANUFACTURER'S INSPECTION REPORT AND CONTRACTOR'S INSPECTION REPORT SHALL BE FURNISHED TO DESIGNER PRIOR TO FINAL PAYMENT.
- DESIGNER SHALL BE NOTIFIED 48 HOURS PRIOR TO MANUFACTURER'S INSPECTION OF ROOF.
- PERFORM ALL MISCELLANEOUS WORK AT LOCATIONS SHOWN ON NEW ROOF PLAN.

DR: RPR

CK: RCR

PROJ. NO.: 2922

DATE: 10-4-21

REVISIONS

REMARKS

DATE

NO.

Richard C. Rinks & Associates, Inc.

Engineers · Building Enclosure Consultants · Architects

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FRIST ART MUSEUM

919 BROADWAY

NASHVILLE, TENNESSEE

OCTOBER 4, 2021

NOTES

NO SCALE

G1 SHEET 2 OF 10

R. PATRICK RINKS

REGISTERED ENGINEER

1980

10-10-87

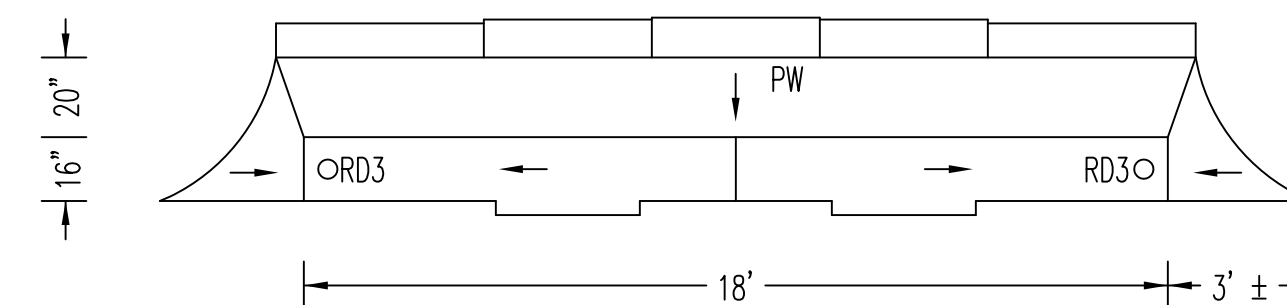
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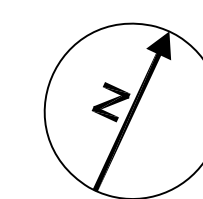
STATE OF TENNESSEE

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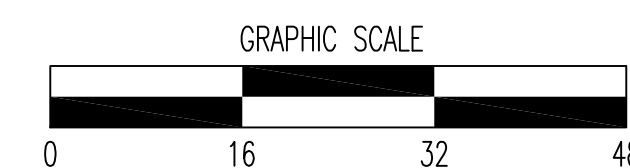


SCALE: 1/4" = 1'-0"



LEGEND

- A ANTENNA
C CAMERA
EJ EXPANSION JOINT
PW PARAPET WALL
CB1 3'x3' CURB
CF1 1.5'x1.5' CURBED FAN
CF2 2.5'x2.5' CURBED FAN
CS 3.5'x3.5' CURBED STACK
CS1 1.5'x6" CURBED SUPPORT
CS2 2.5'x6" CURBED SUPPORT
CS3 8'x6" CURBED SUPPORT
CS4 41'x9" CURBED SUPPORT
CV1 2.5'x2.5' CURBED VENT
CV2 3'x3' CURBED VENT
CV3 3.5'x3.5' CURBED VENT
CV4 4.5'x4.5' CURBED VENT
E1 1" ELECTRICAL
GDS GUTTER DOWNSPOUT (REMOVE)
I10 10" INSULATED PENETRATION
L LIGHTNING ARRESTER
LA LADDER (REMOVE)
LT LIGHT
MC1 23'x7' CURBED MECHANICAL
MC2 25.5'x7' CURBED MECHANICAL
PP PITCH POCKET (REMOVE)
P2 2" PENETRATION
P4 4" PENETRATION
PV2 2" PLUMBING VENT
PV3 3" PLUMBING VENT
PV4 4" PLUMBING VENT
RD* ROOF DRAIN INSERT
RD3 3" ROOF DRAIN
RD4 4" ROOF DRAIN
S 3'x3' SATELLITE DISH
SH1 6'x6" SHROUD (REMOVE)
■ ● ITEMS TO BE REMOVED
----- LIGHTNING ARRESTER CABLE ON ROOF
----- UTILITY LINE(S) ON SUPPORTS
----- WALKPADS (REMOVE)
////// AREA OF SUSPECTED WE INSULATION (REMOVE)
8,000 S.F. ±



ROOF SLOPE 1/8" PER FOOT (STRUCTURE) U.N.O.
ROOF HEIGHT ABOVE GROUND LEVEL VARIES 15 TO 90 FEET (AGL) (SOUTHWEST SIDE)
APPROXIMATE ROOF AREA IN S.F. 50,185

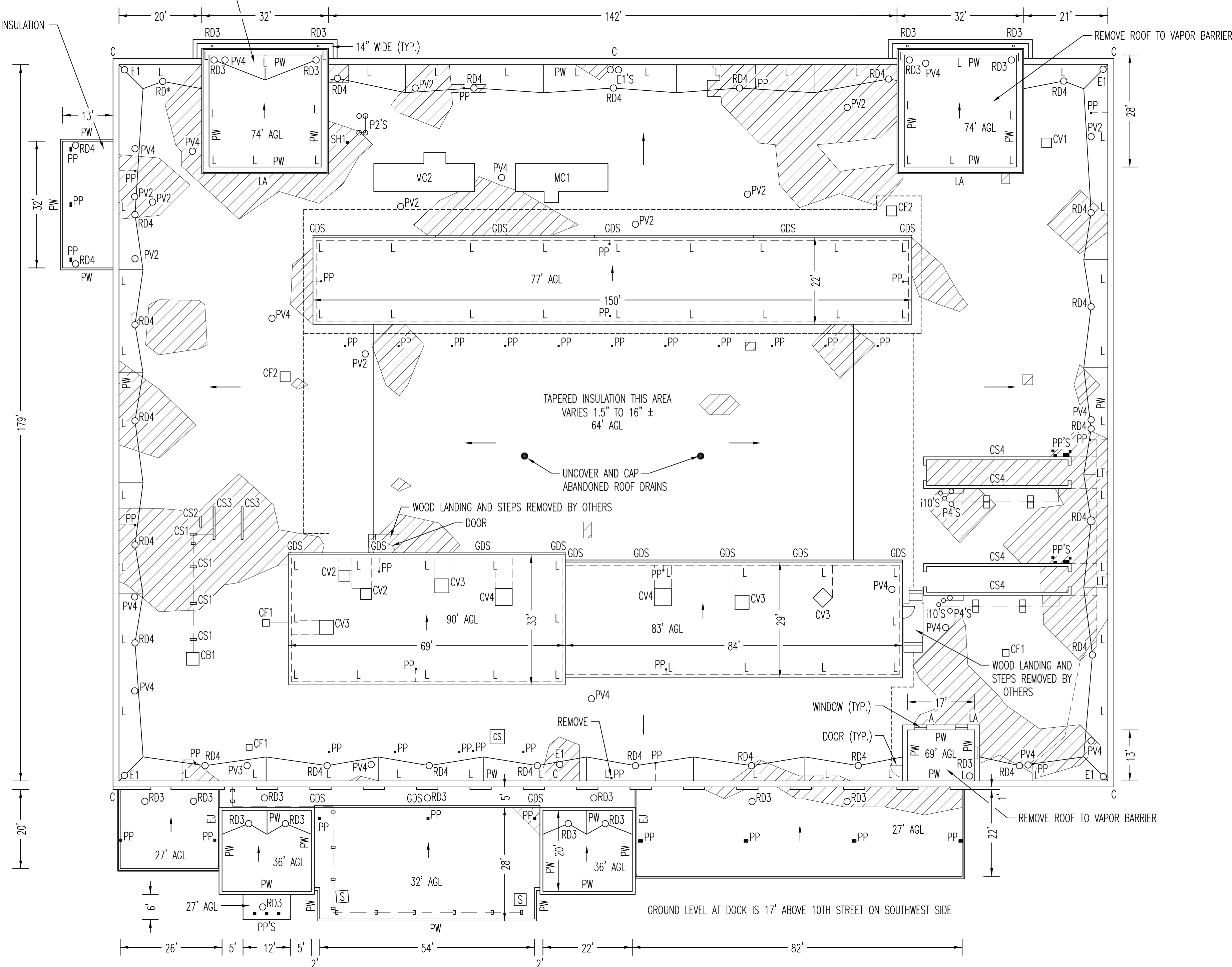
THREE HIGHER PENTHOUSE ROOFS AND LOW ROOFS HAVE METAL DECKS WITHOUT VAPOR BARRIER
27' AGL ROOFS HAVE 1/2" ISO IN LIEU OF 1.5" ISO.

NORTHWEST PENTHOUSE HAS AN ADDITIONAL MODIFIED BITUMEN ROOF AND CRICKETS.

SEE MID-LEVEL INTERNAL GUTTER
ROOF SKETCH ON THIS SHEET
(TYP. TWO LOCATIONS)

REMOVE BOTH ROOFS TO VAPOR BARRIER

BALLASTED EPDM ROOF
2.75" ± ISOCYANURATE INSULATION
METAL DECK
15' AGL



SCALE: 1/16" = 1'-0"

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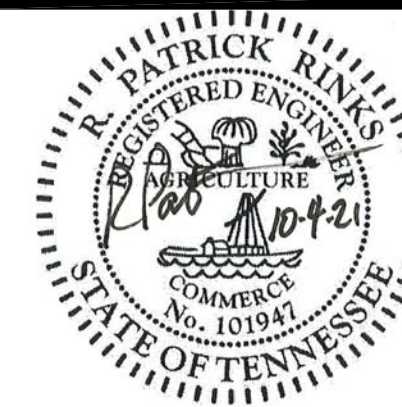
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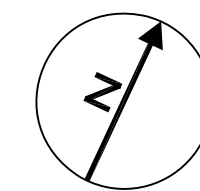
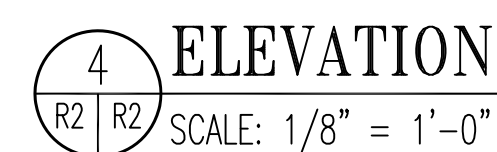
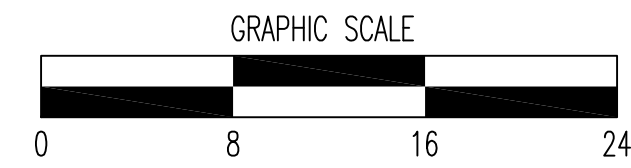
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NASHVILLE, TENNESSEE
OCTOBER 4, 2021
DEMOLITION ROOF PLAN**

SCALE: AS SHOWN

R1	SHEET 3 OF 10
----	---------------



SEE DEMOLITION ROOF PLAN FOR ADDITIONAL DIMENSIONS



- GRAPHIC SCALE
-
- 0 16 32 48

NEW ROOF PLAN
SCALE: 1/16" = 1'-0"

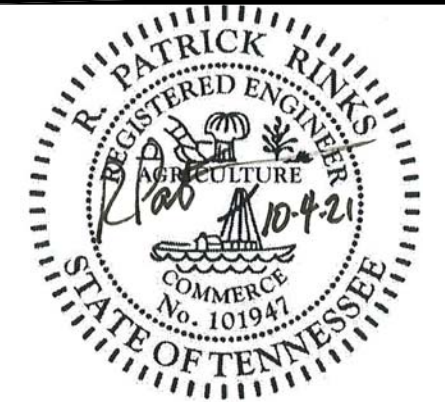
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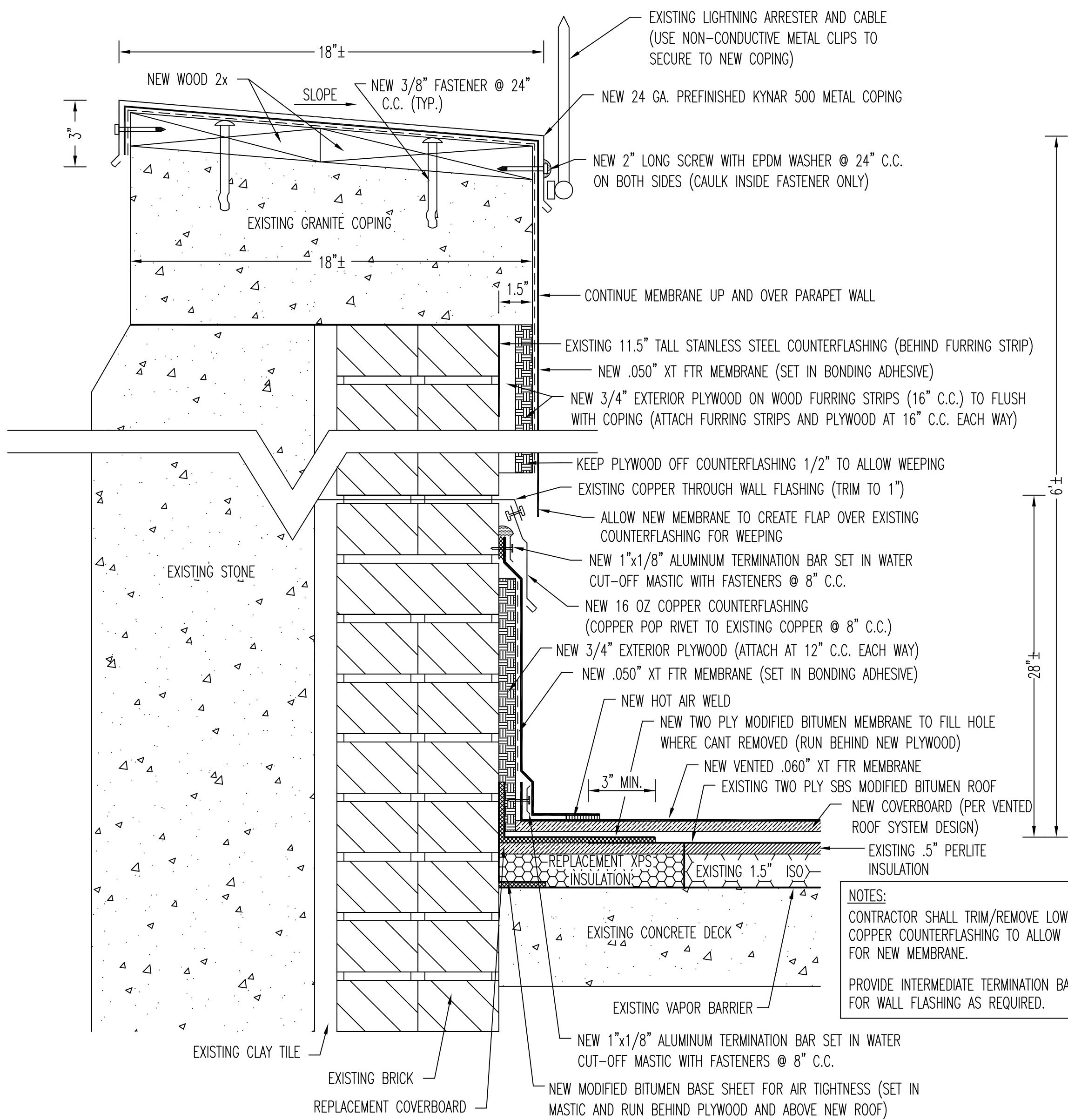
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SPECIFIED REPLACEMENT
FRIST ART MUSEUM
919 BROADWAY
NASHVILLE, TENNESSEE
OCTOBER 4, 2021
NEW ROOF PLAN

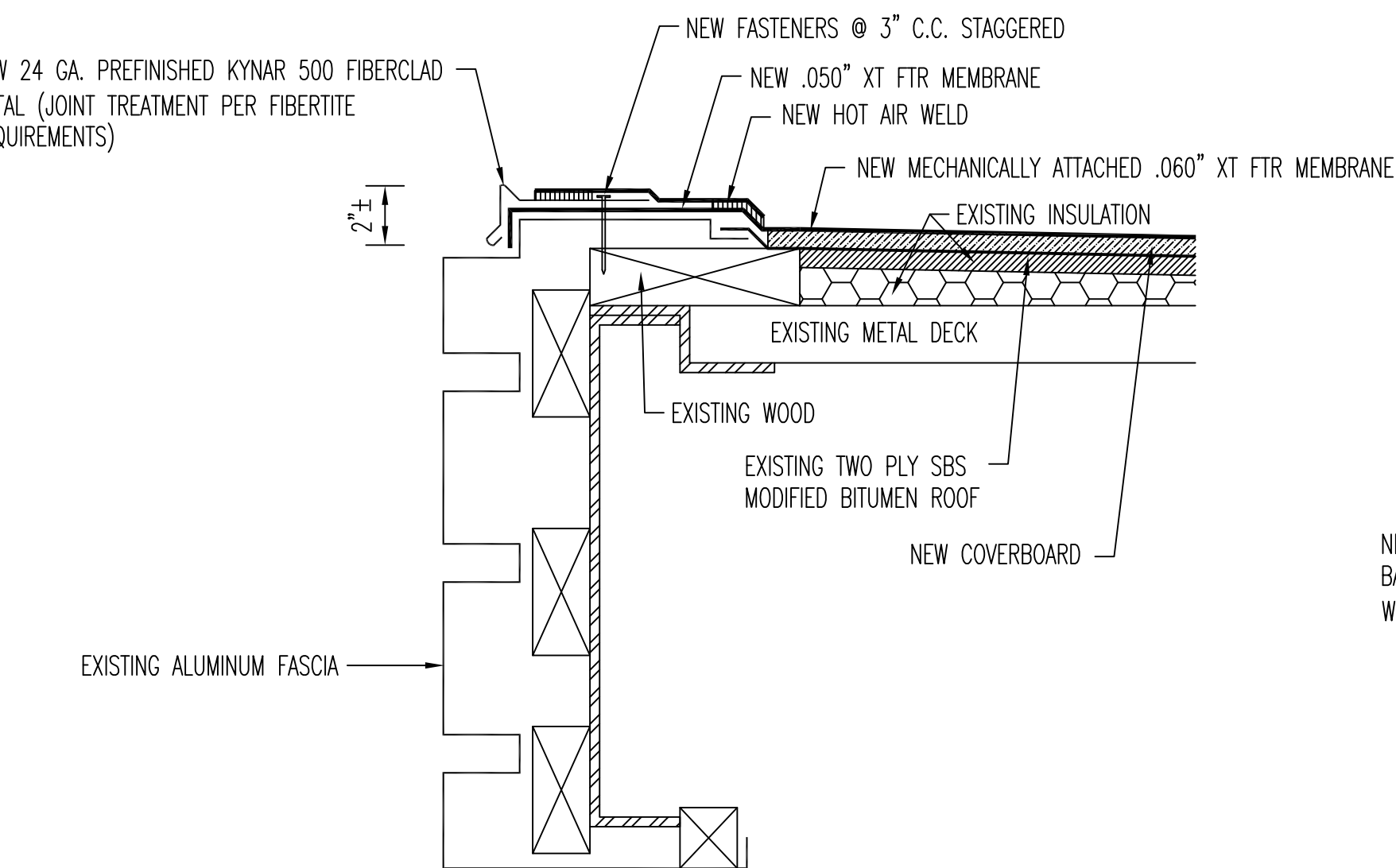
SCALE: AS SHOWN

R2	SHEET 4 OF 10
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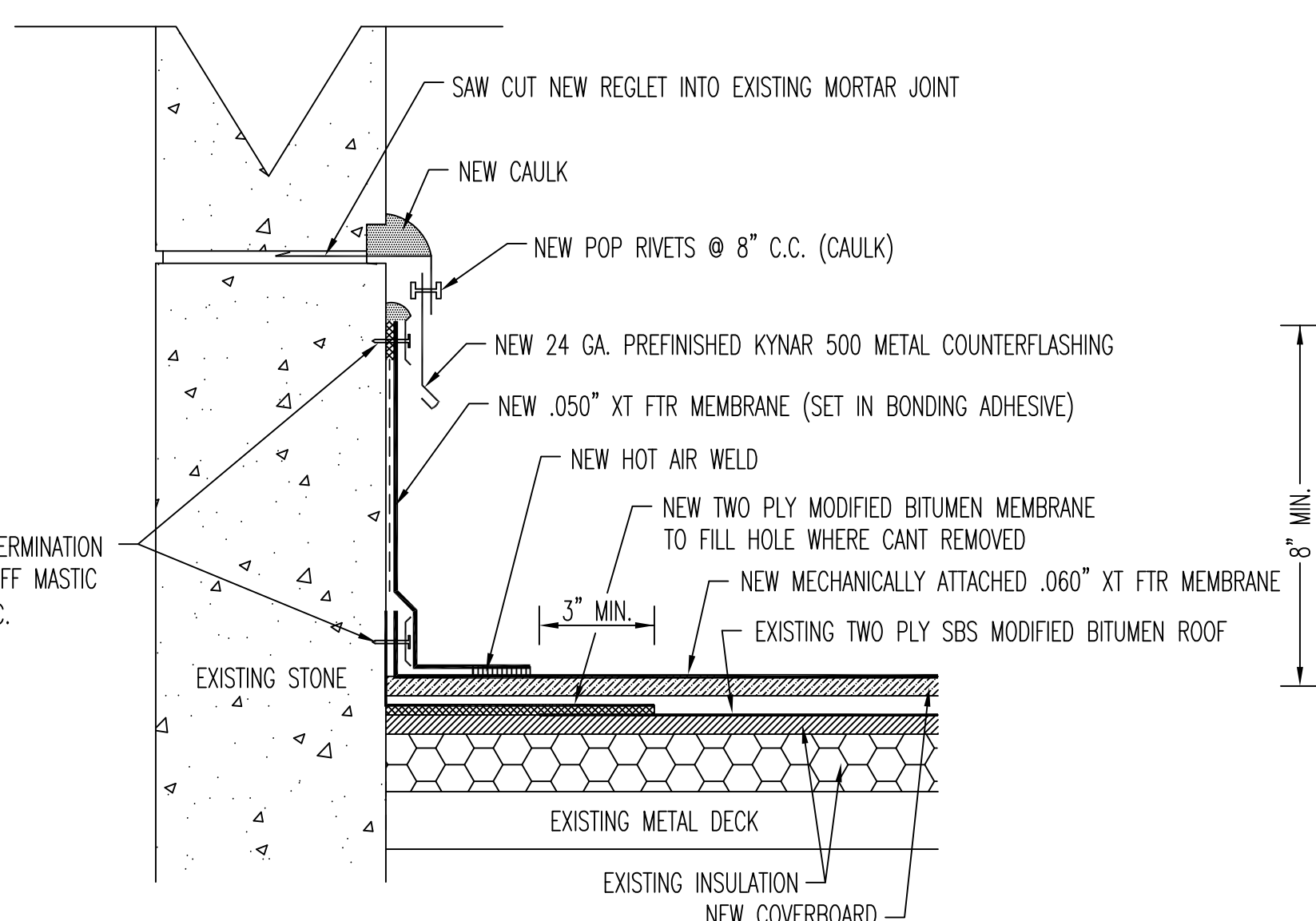


1 WALL FLASHING (PW)
SCALE: 3" = 1'-0"

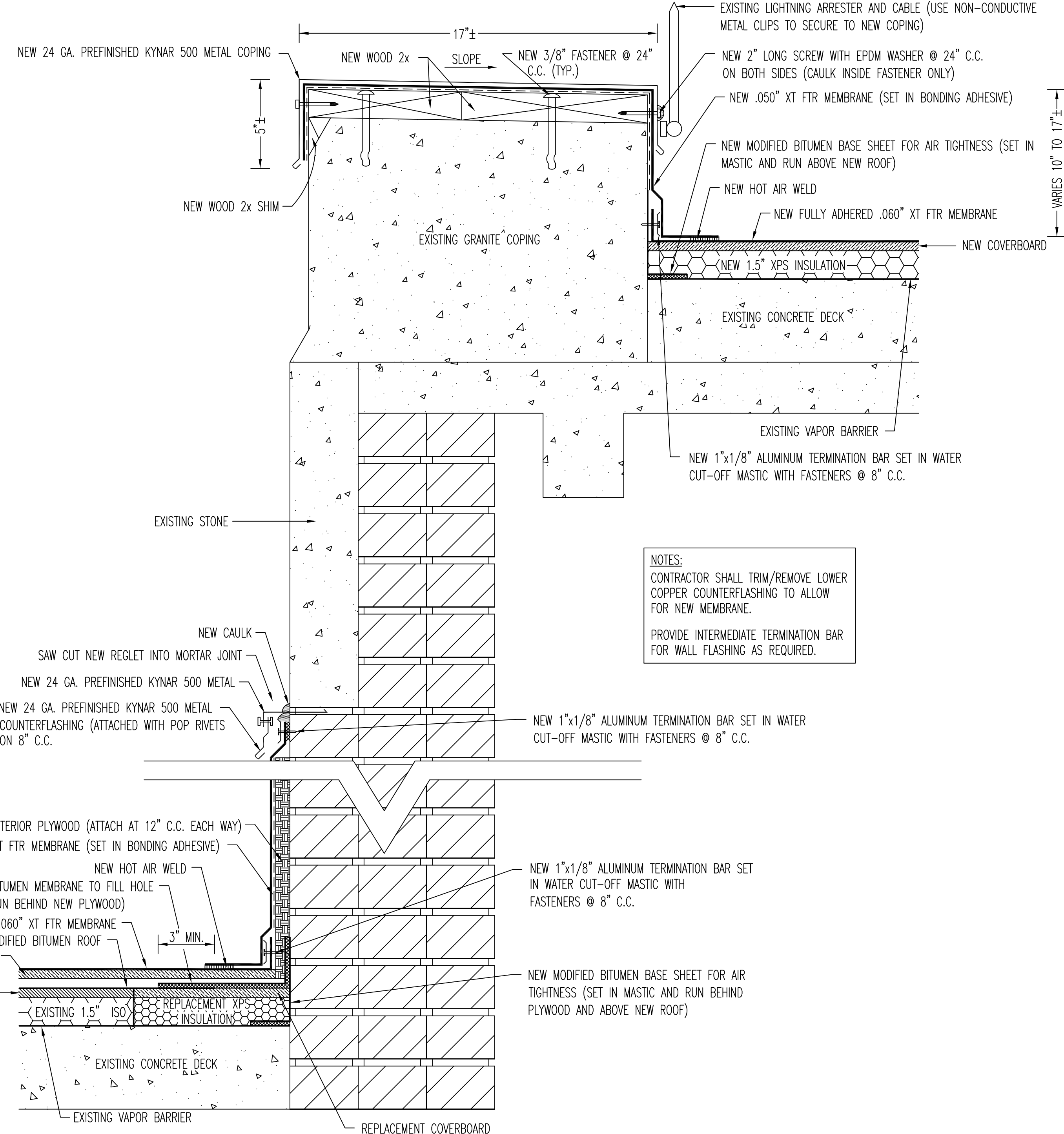


3 CANOPY EDGE DETAIL
SCALE: 3" = 1'-0"

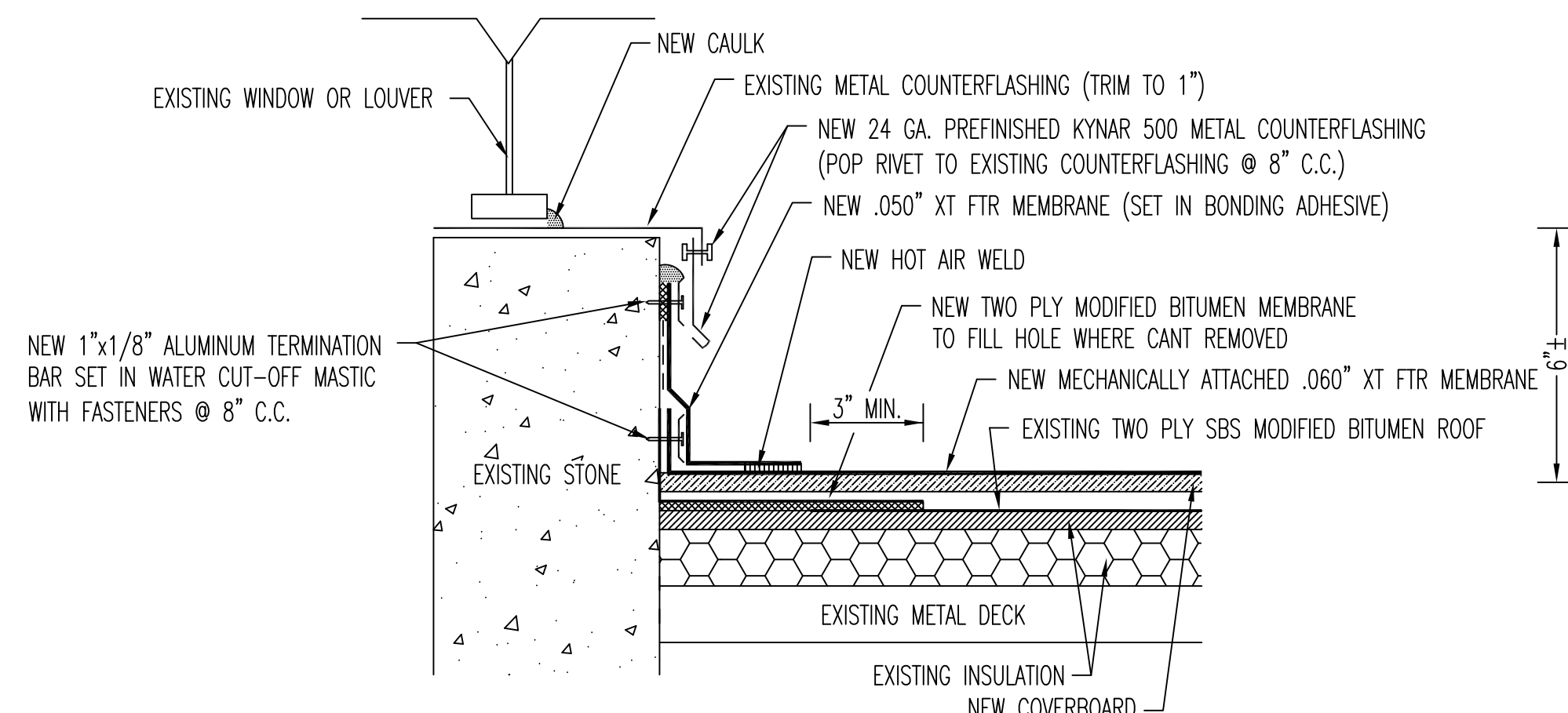
NEW 1"x1/8" ALUMINUM TERMINATION BAR SET IN WATER CUT-OFF MASTIC WITH FASTENERS @ 8" C.C.



4 CANOPY WALL FLASHING
SCALE: 3" = 1'-0"



2 WALL FLASHING (PW)
SCALE: 3" = 1'-0"



5 CANOPY WINDOW DETAIL
SCALE: 3" = 1'-0"



NOTES:
CONTRACTOR SHALL TRIM/REMOVE LOWER COPPER COUNTERFLASHING TO ALLOW FOR NEW MEMBRANE.
PROVIDE INTERMEDIATE TERMINATION BAR FOR WALL FLASHING AS REQUIRED.

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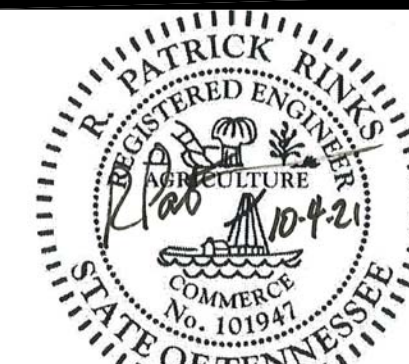
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Cookeville, Tennessee

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ROOF RECOVER AND
SPECIFIED REPLACEMENT
FRIST ART MUSEUM
919 BROADWAY
NASHVILLE, TENNESSEE
OCTOBER 4, 2021
NEW ROOF DETAILS

SCALE: AS SHOWN

D1 SHEET 5 OF 10



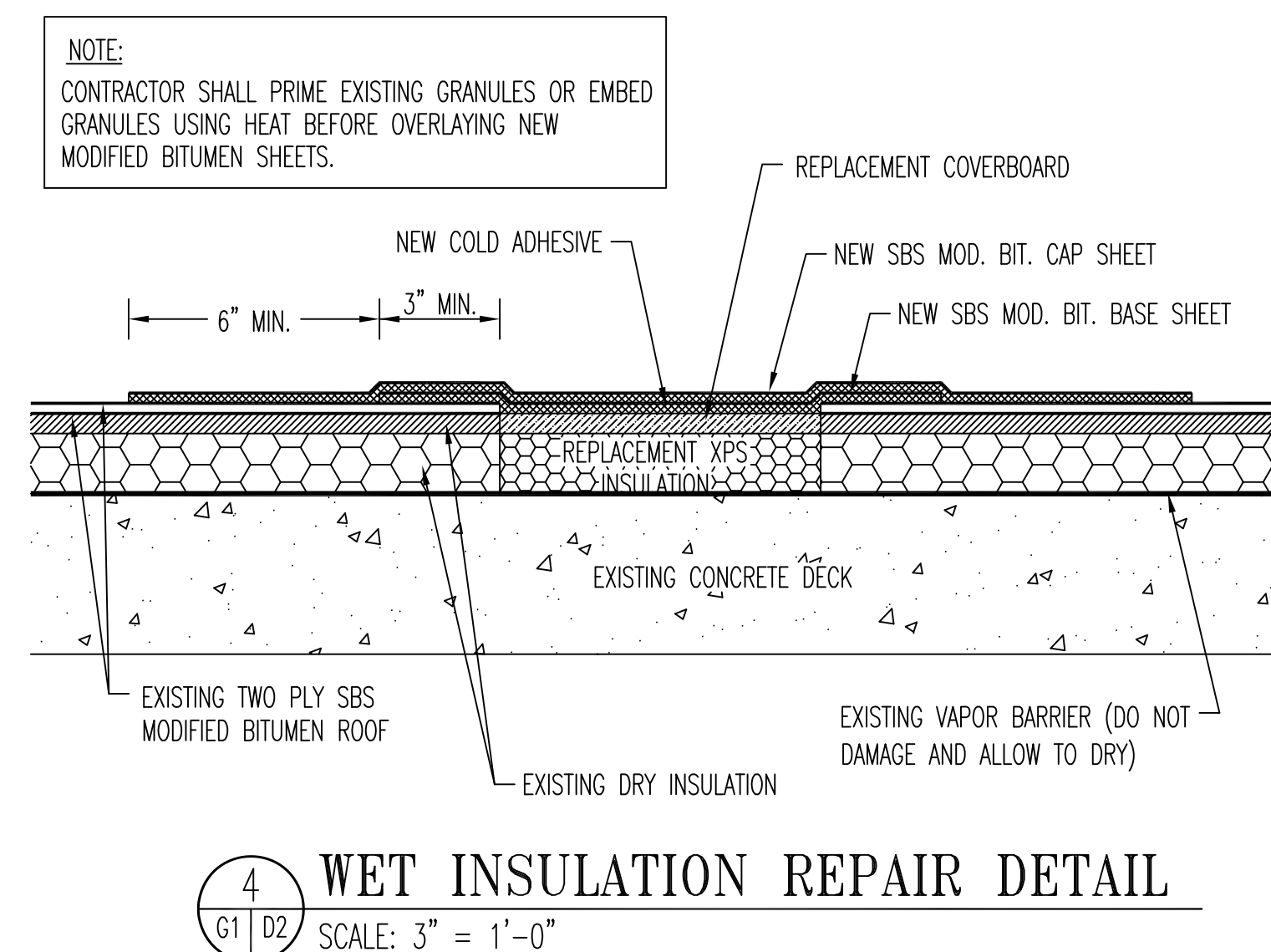
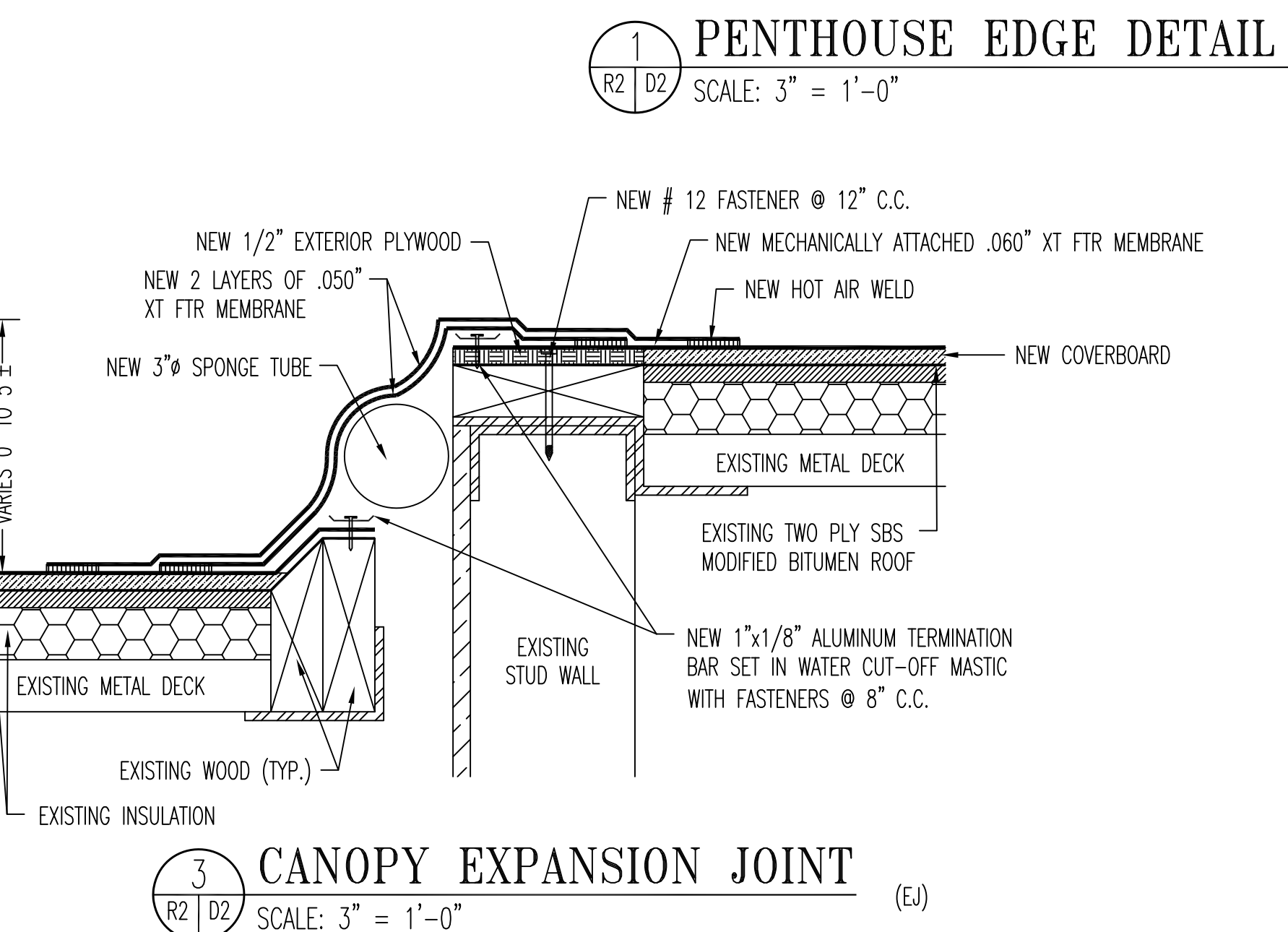
DR: JAY CK: RCR
PROJECT: DWG
DATE: 10-4-21

REVISIONS

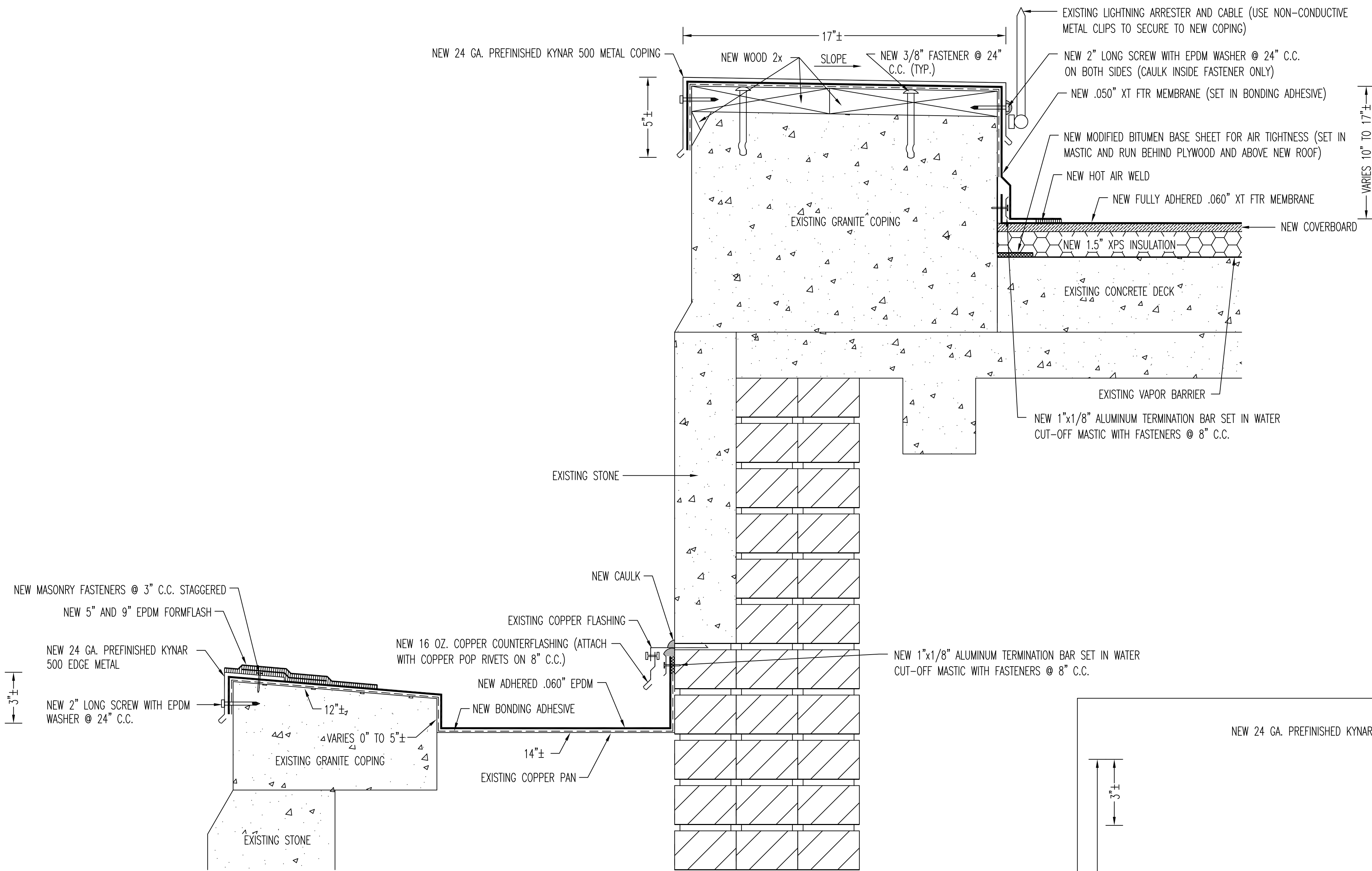
REMARKS

DATE

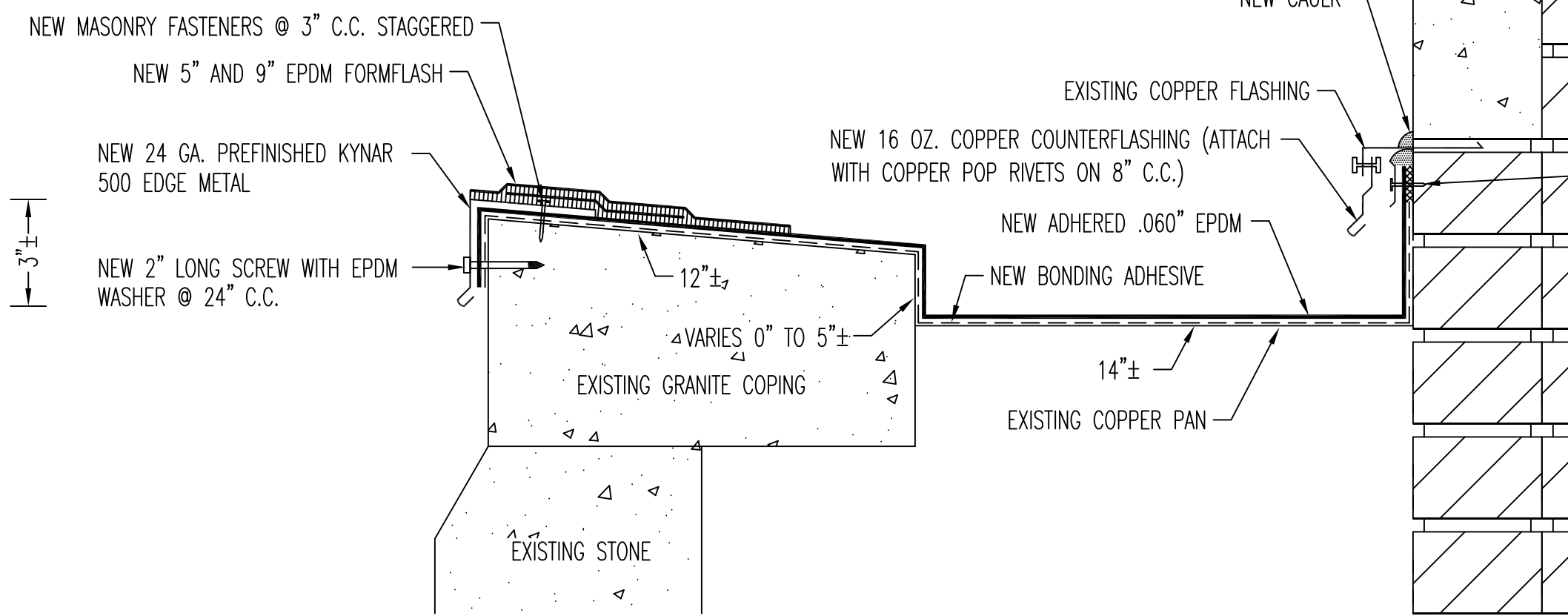
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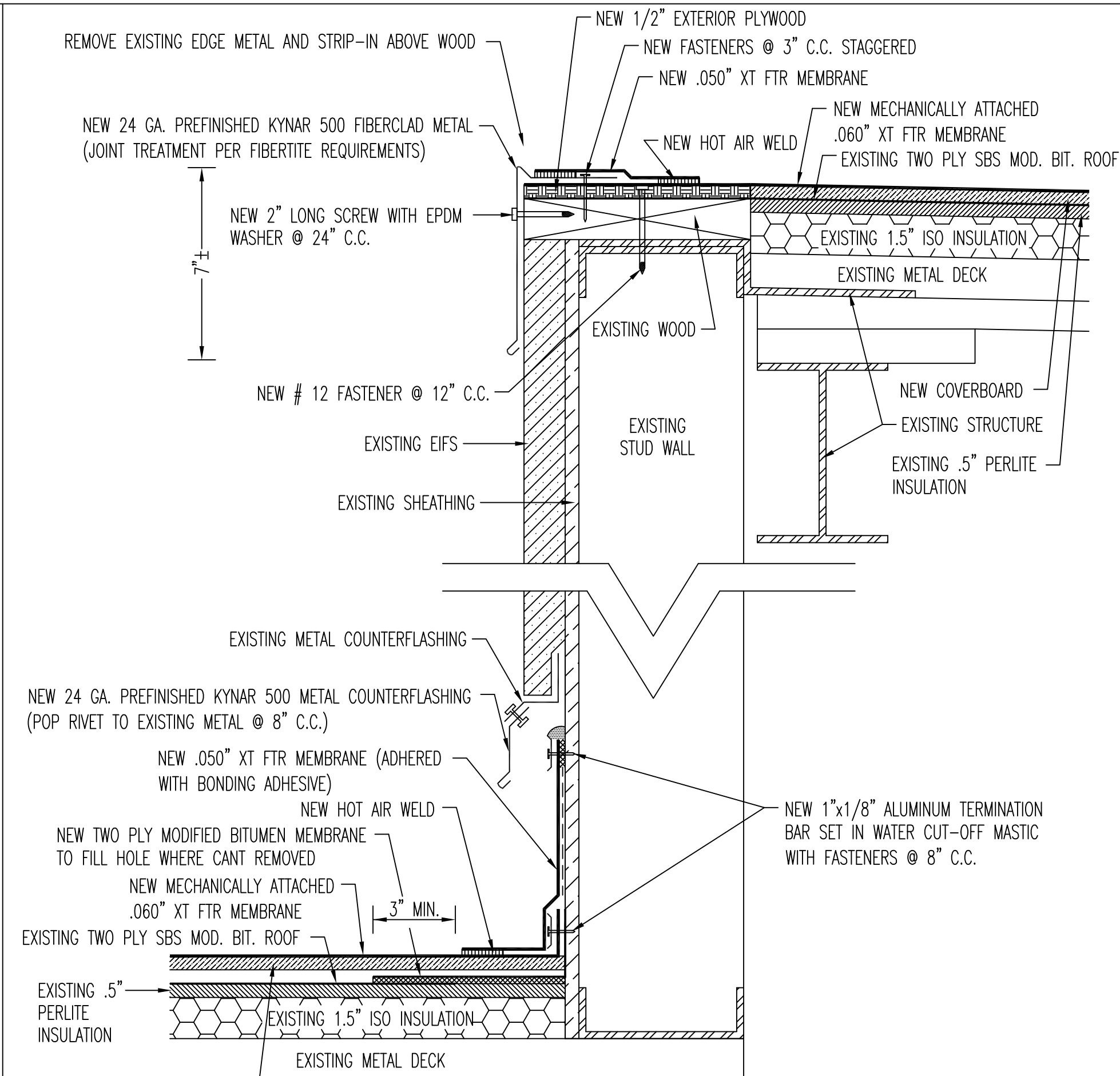
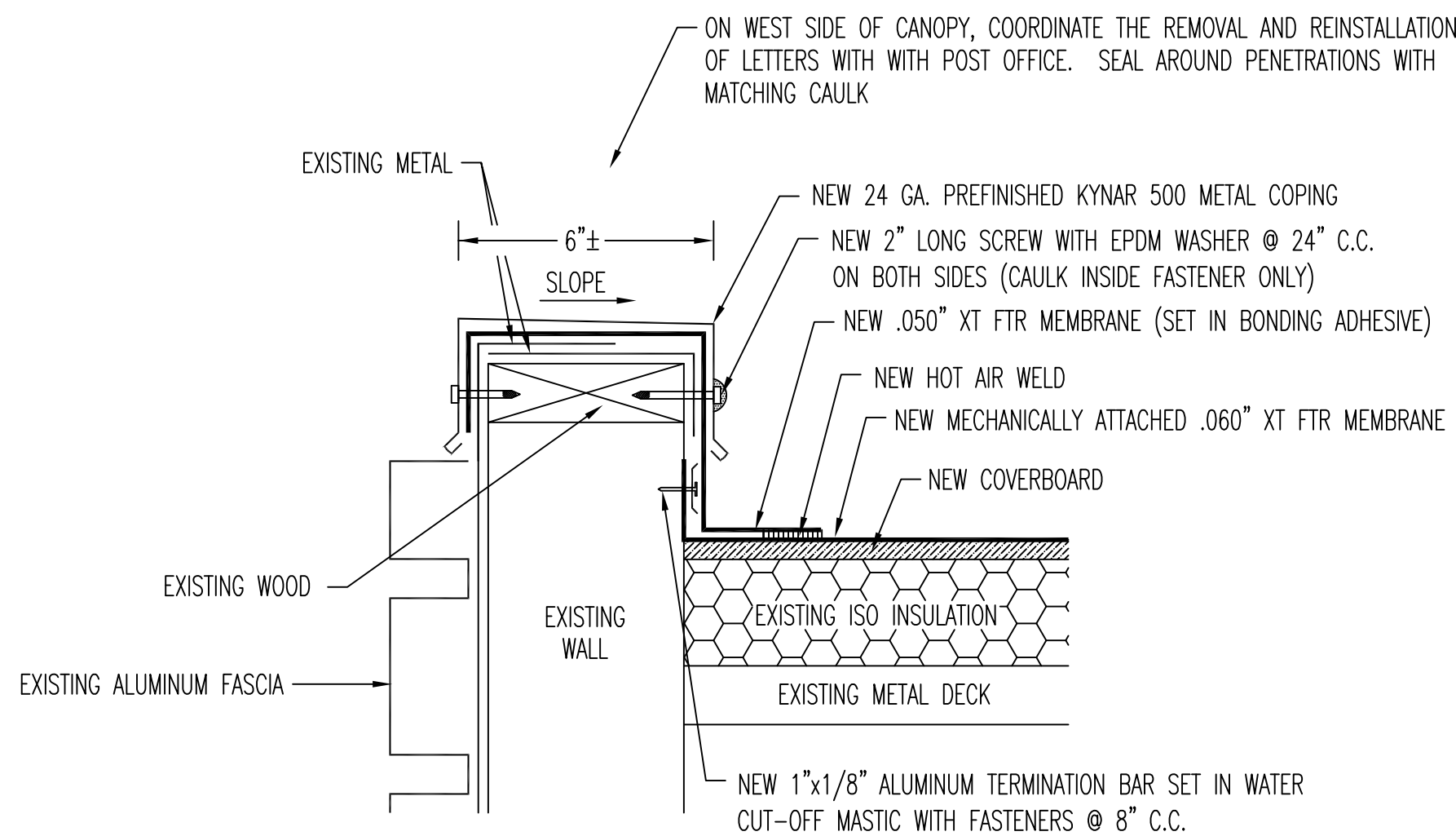
<p>ROOF RECOVER AND SPECIFIED REPLACEMENT</p> <p>FRIST ART MUSEUM</p> <p>919 BROADWAY</p> <p>NASHVILLE, TENNESSEE</p> <p>OCTOBER 4, 2021</p> <p>NEW ROOF DETAILS</p>		<p>Richard C. Rinks & Associates, Inc.</p> <p>Engineers · Building Enclosure Consultants · Architects</p> <p>Certified EFS Inspection Certified Moisture Analysis</p> <p>ASCE · NSPE · TSPE · AIA · IIBEC · EDI</p> <p>30 North Jefferson Avenue (38501) P.O. Box 691 (38503)</p> <p>Cookeville, Tennessee</p> <p>Telephone 931-528-5543 Rinks-Consulting.com Facsimile 931-528-5544</p>	
<p>SCALE: AS SHOWN</p>		<p>D2 SHEET 6 OF 10</p>	
		<p>DR. JAY CK. RCR PROJ. NO. 2922 DATE: 10-4-21</p> <p>REVISIONS</p> <p>1. FRIST D2.DWG</p> <p>REMARKS</p>	



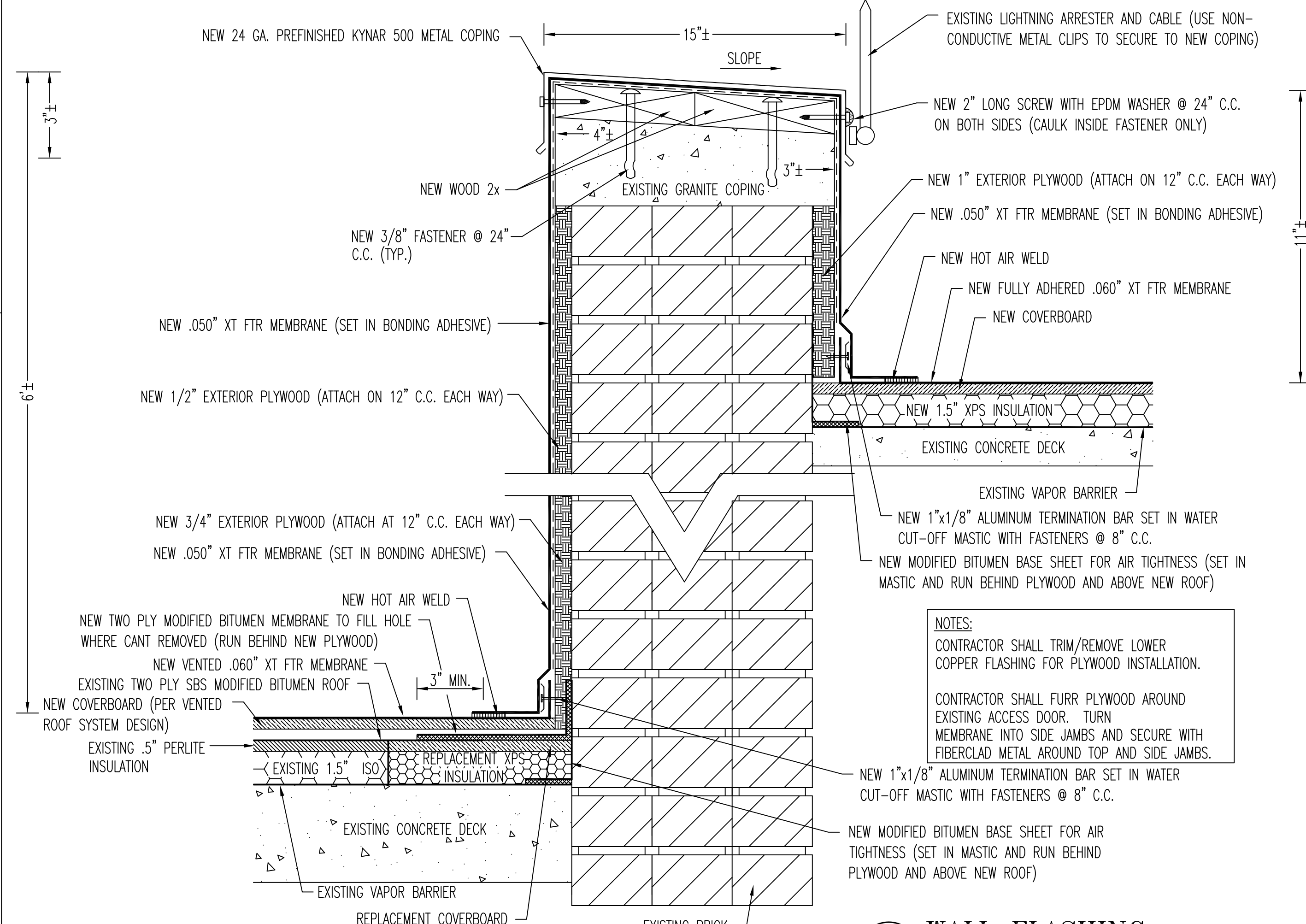
1 WALL FLASHING DETAIL
SCALE: 3" = 1'-0"



3 CANOPY EDGE DETAIL
SCALE: 3" = 1'-0"



2 PENTHOUSE EDGE DETAIL
SCALE: 3" = 1'-0"



4 WALL FLASHING
SCALE: 3" = 1'-0"

REVISIONS	
NO.	DATE

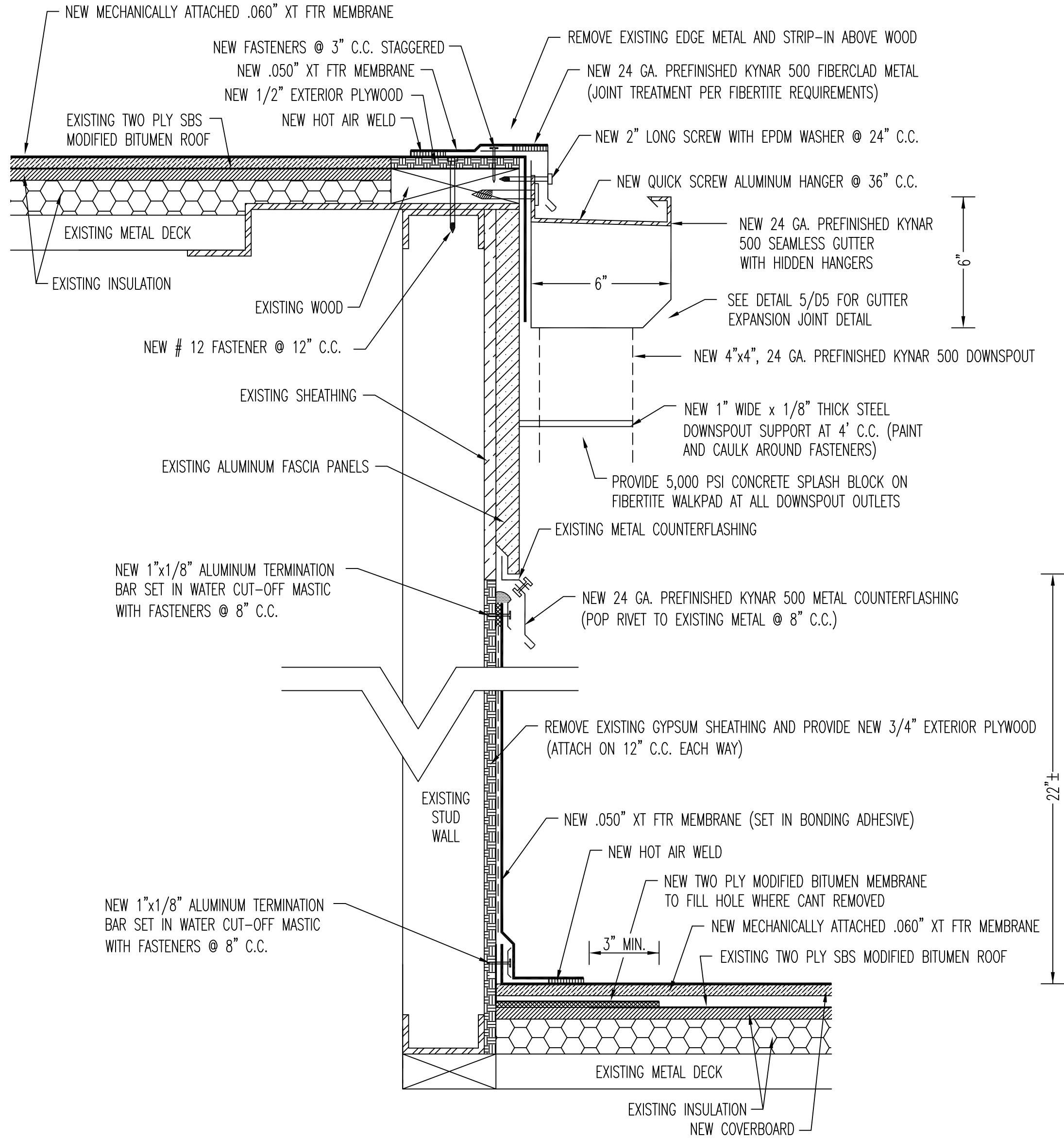
DR: JAY	CK: RCR	PROJ. NO.: 2922	DATE: 10-4-21
VERISTD3.DWG			

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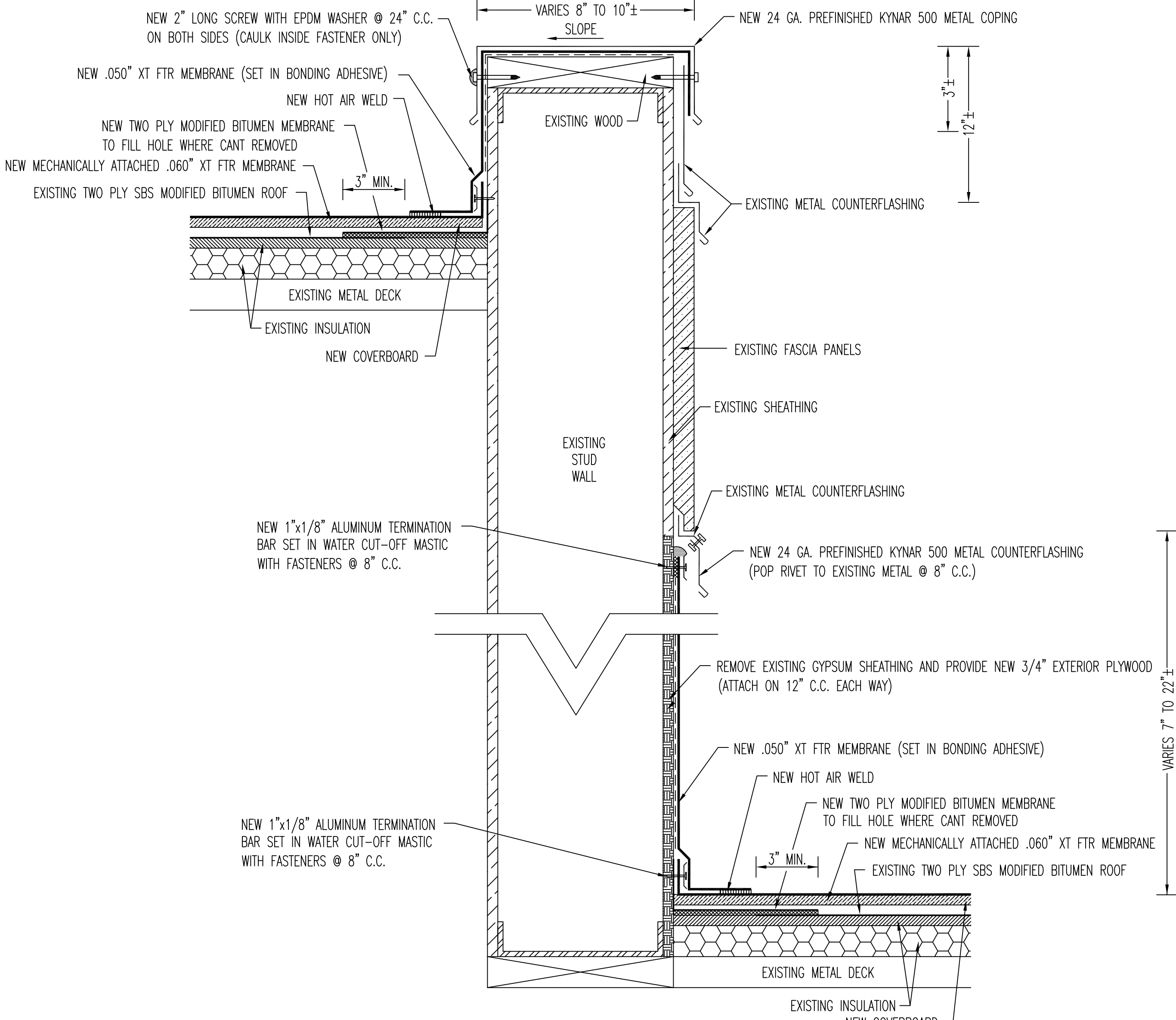
ROOF RECOVER AND SPECIFIED REPLACEMENT FRIST ART MUSEUM
919 BROADWAY
NASHVILLE, TENNESSEE
OCTOBER 4, 2021
NEW ROOF DETAILS

SCALE: AS SHOWN

D3 SHEET 7 OF 10



1 CANOPY GUTTER DETAIL (GDS)
SCALE: 3" = 1'-0"



2 CANOPY WALL DETAIL (PW)
SCALE: 3" = 1'-0"

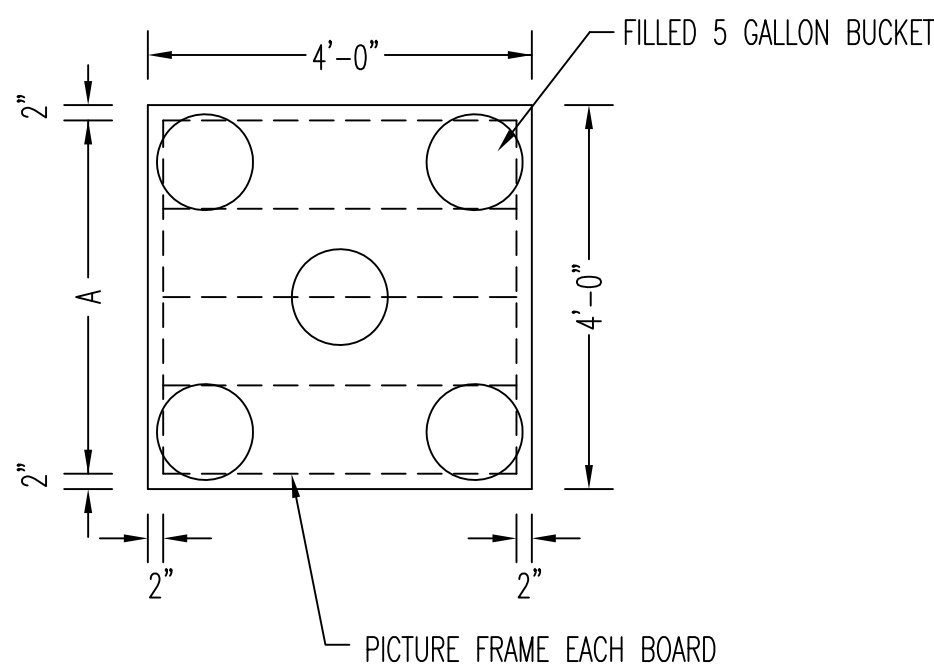
NOTE:
SEE NEW ROOF PLAN FOR CORNER AND PERIMETER DIMENSIONS.

FOAM SPACING "A"	
FIELD	4 EQUAL SPACES AT 11" C.C.
PERIMETERS	8 EQUAL SPACES AT 5.5" C.C.
CORNERS	11 EQUAL SPACES AT 4" C.C.

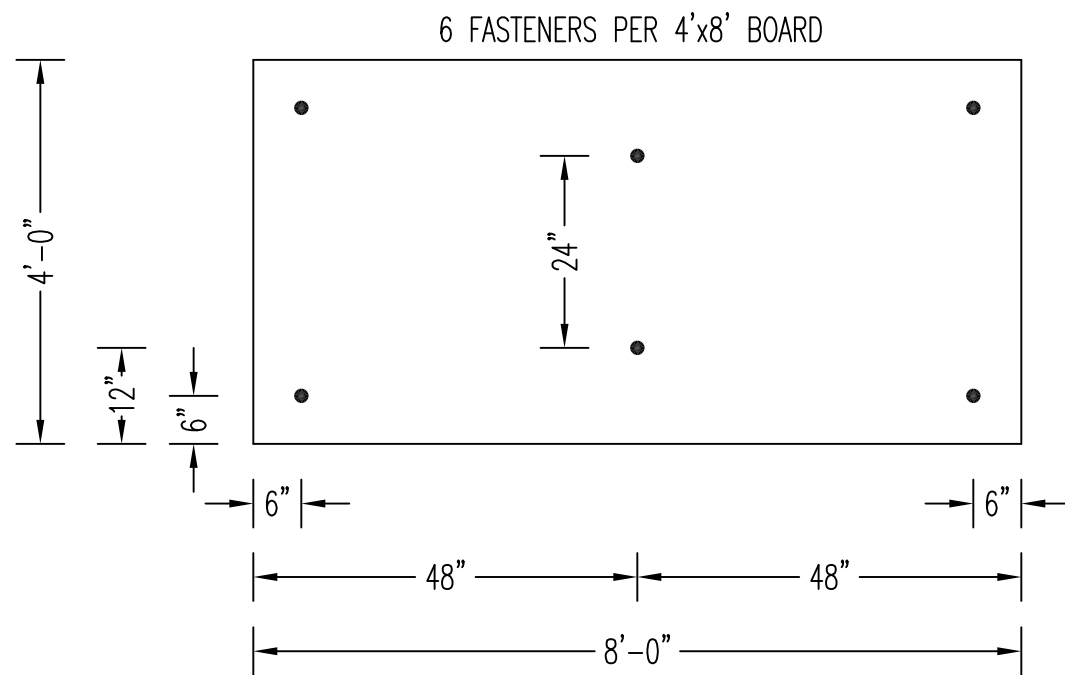
NOTE:
APPLY ADEQUATE FOAM AS SHOWN. INSTALL BOARDS IN FOAM IN STRICT COMPLIANCE WITH MANUFACTURER'S RECOMMENDATIONS. IMMEDIATELY PLACE FIVE FILLED FIVE GALLON BUCKETS ON ALL FOUR CORNERS AND MIDDLE OF EACH INSULATION BOARD. DO NOT REMOVE BUCKETS UNTIL FOAM HAS SET UP.

USE SPACING SHOWN.

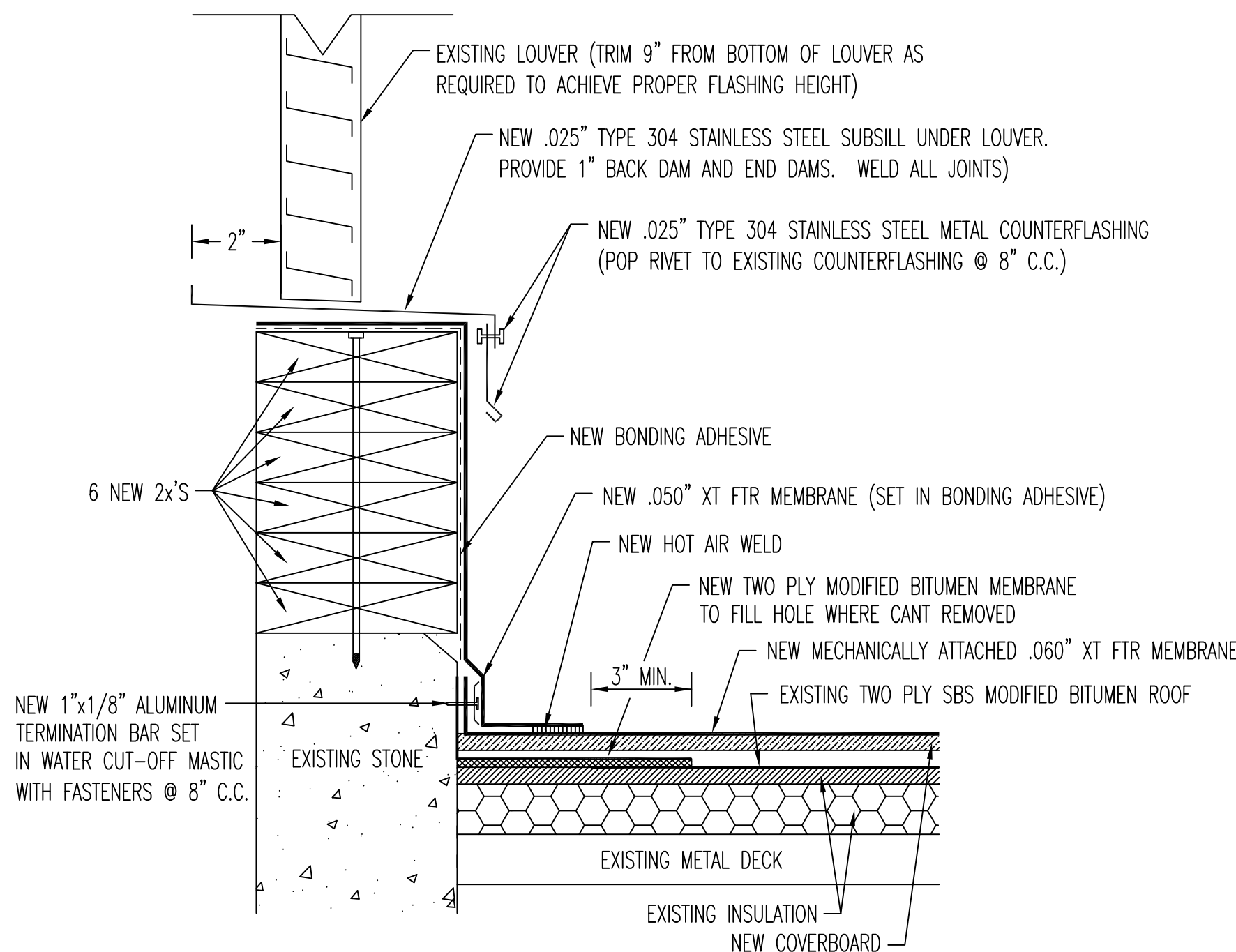
USE TEN FILLED 5 GALLON BUCKETS ON 4x8 BOARDS.



3 TYPICAL INSULATION ADHESIVE PATTERN (G1) D4
NO SCALE



4 INSULATION FASTENER LAYOUT (MECH. ATTACHED) (G1) D4
NO SCALE



5 CANOPY LOUVER DETAIL (R2) D4
SCALE: 3" = 1'-0"

REVISIONS		DATE	10-4-21
NO.	DATE	DR: JAY	CK: RCR

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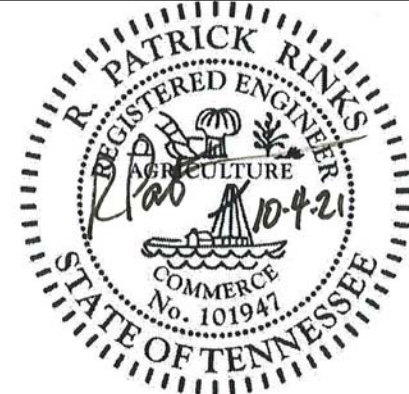
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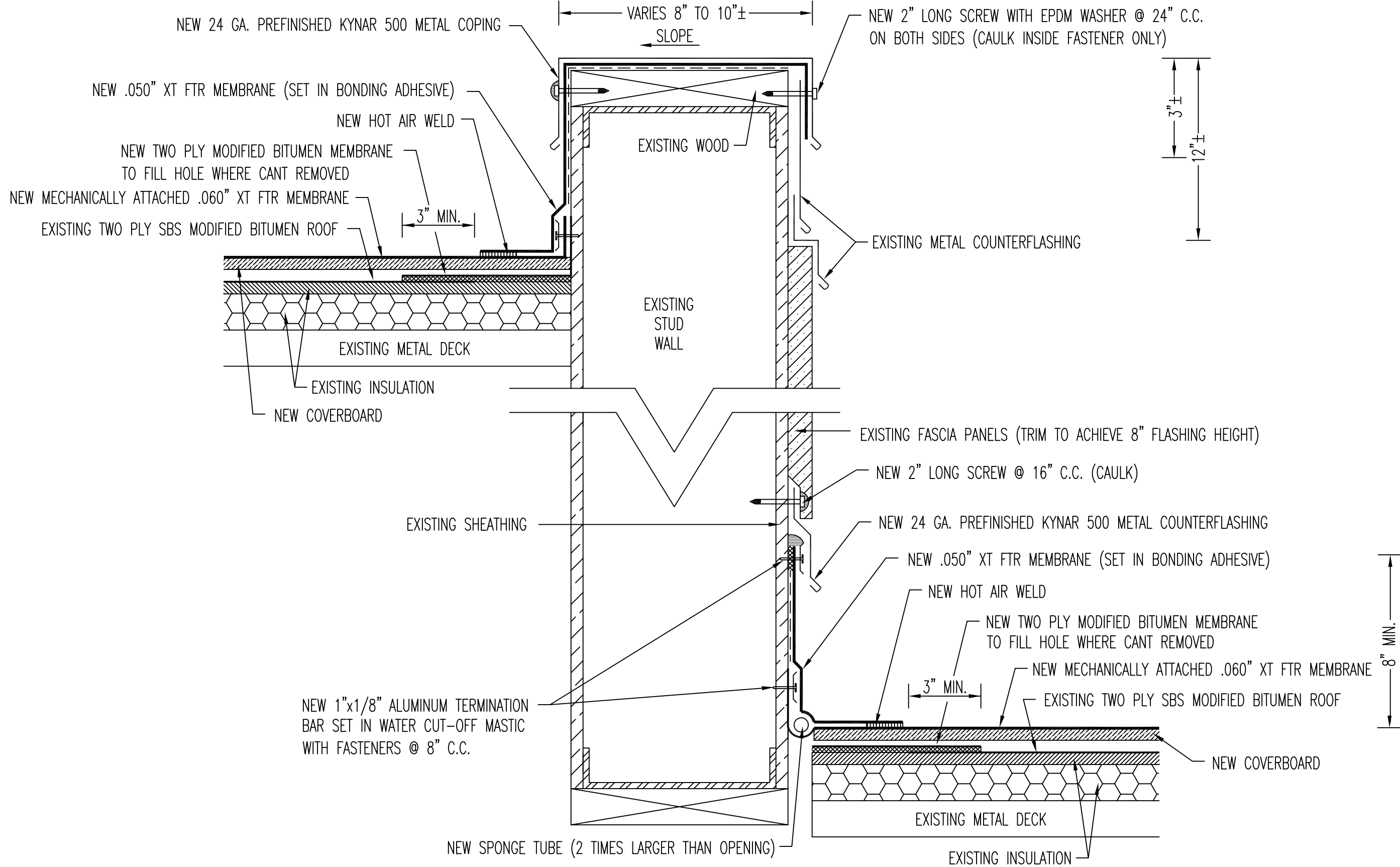
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NEW ROOF DETAILS

SCALE: AS SHOWN

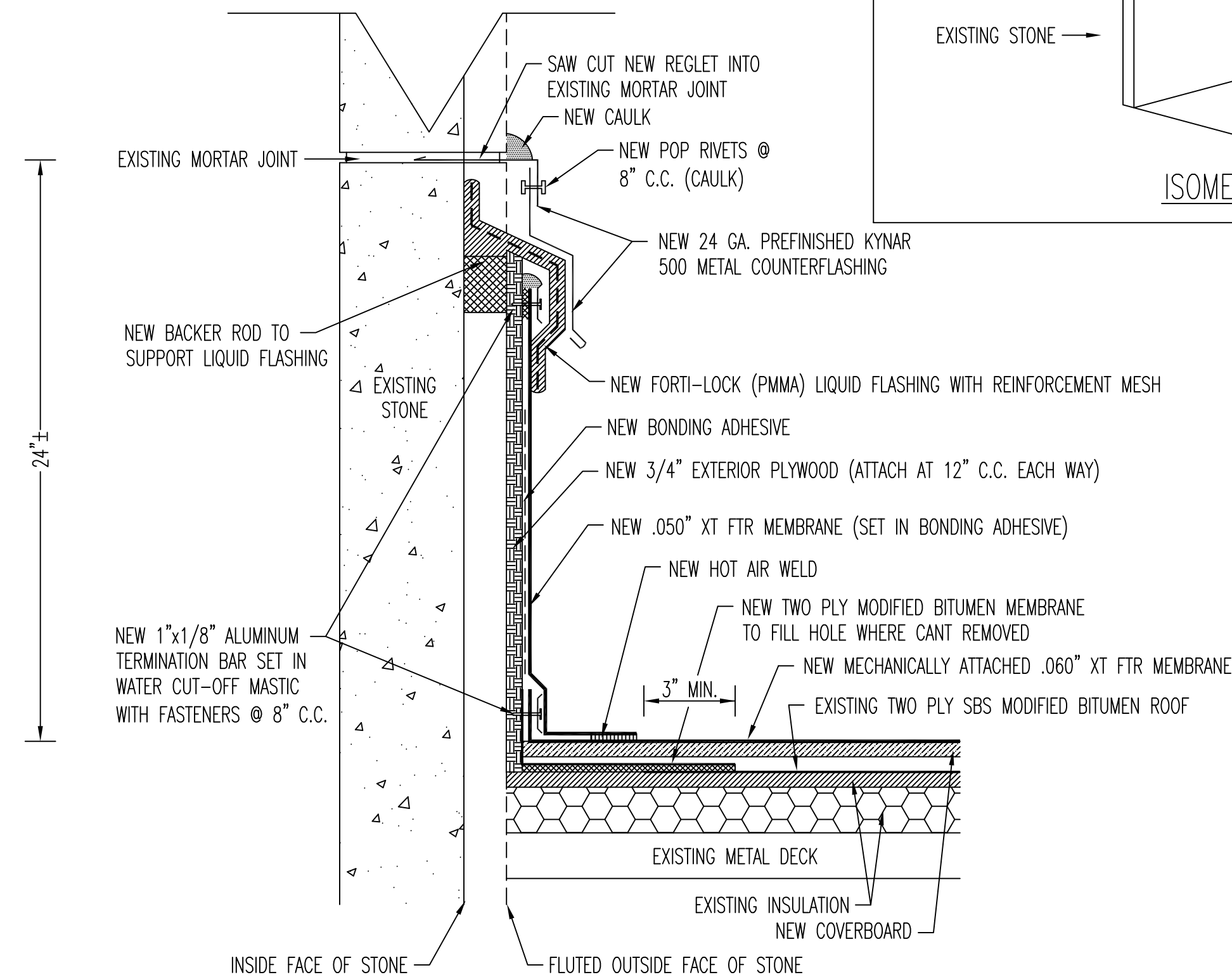
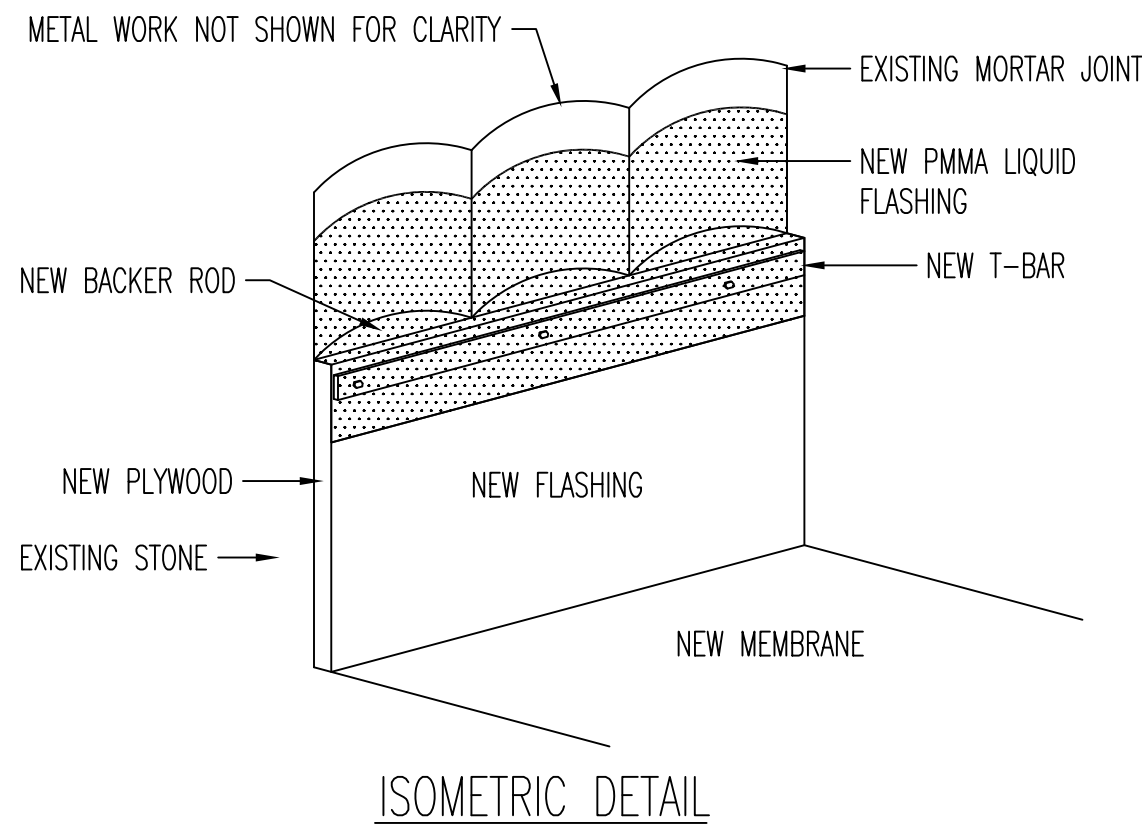
D4 SHEET 8 OF 10





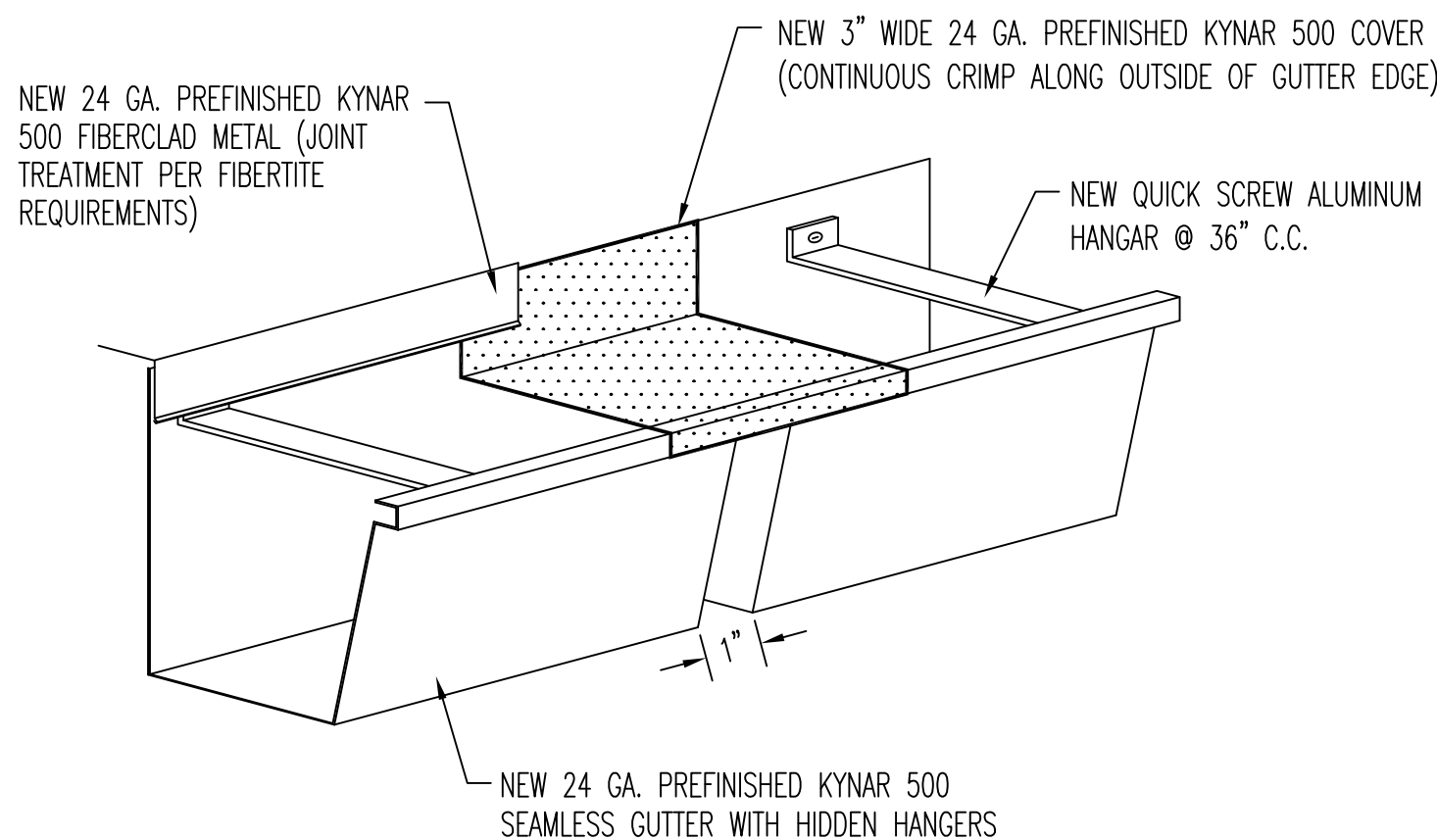
1 CANOPY WALL DETAIL (PW)
SCALE: 3" = 1'-0"

NOTE:
WHERE WALL IS NOT FLUTED, PLYWOOD AND LIQUID FLASHING MAY BE OMITTED. NEW MEMBRANE FLASHING SHALL RUN UP TO NEW REGLET.

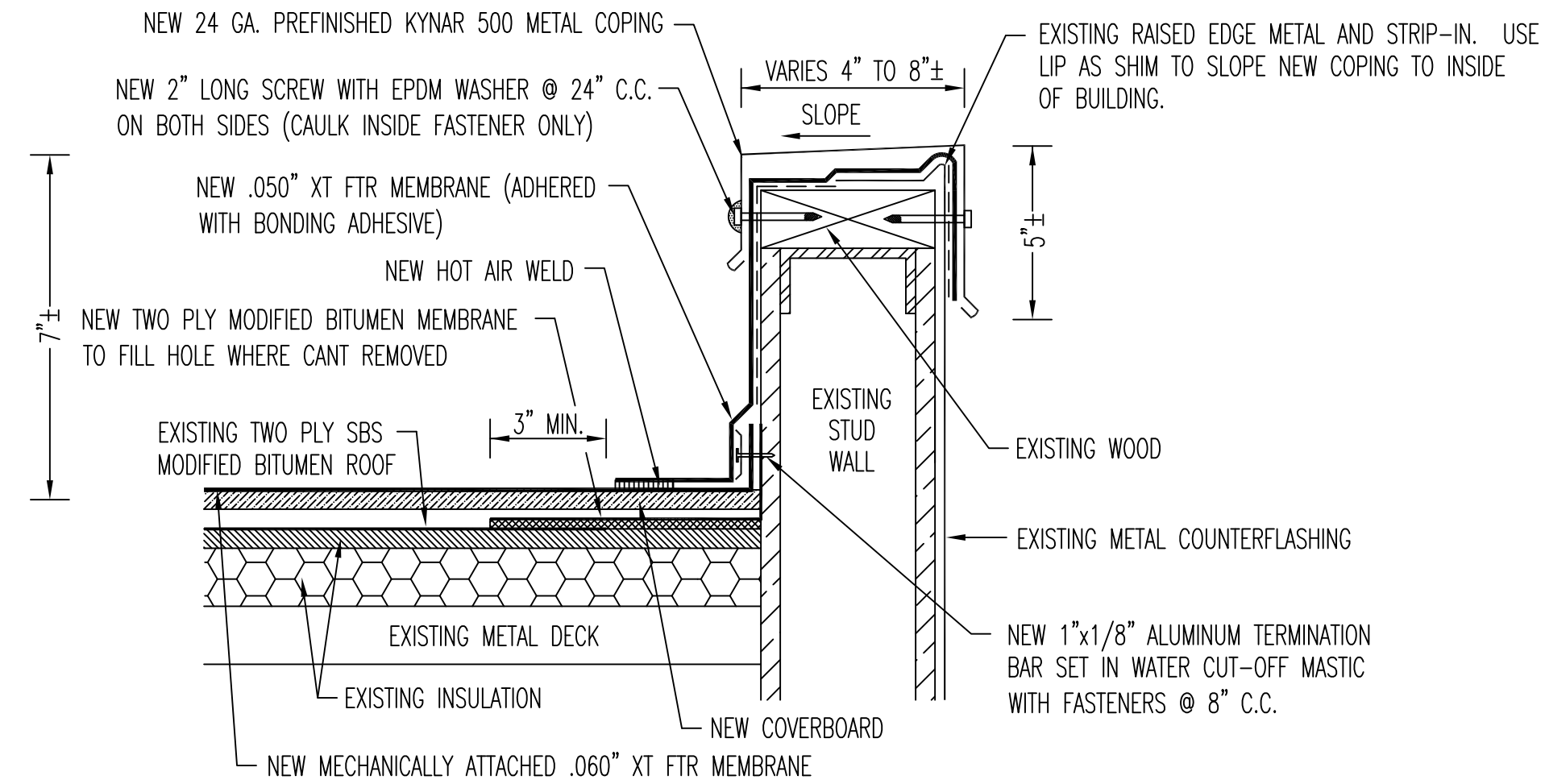


4 CANOPY WALL FLASHING (FLUTED WALL SECTION)
SCALE: 3" = 1'-0"

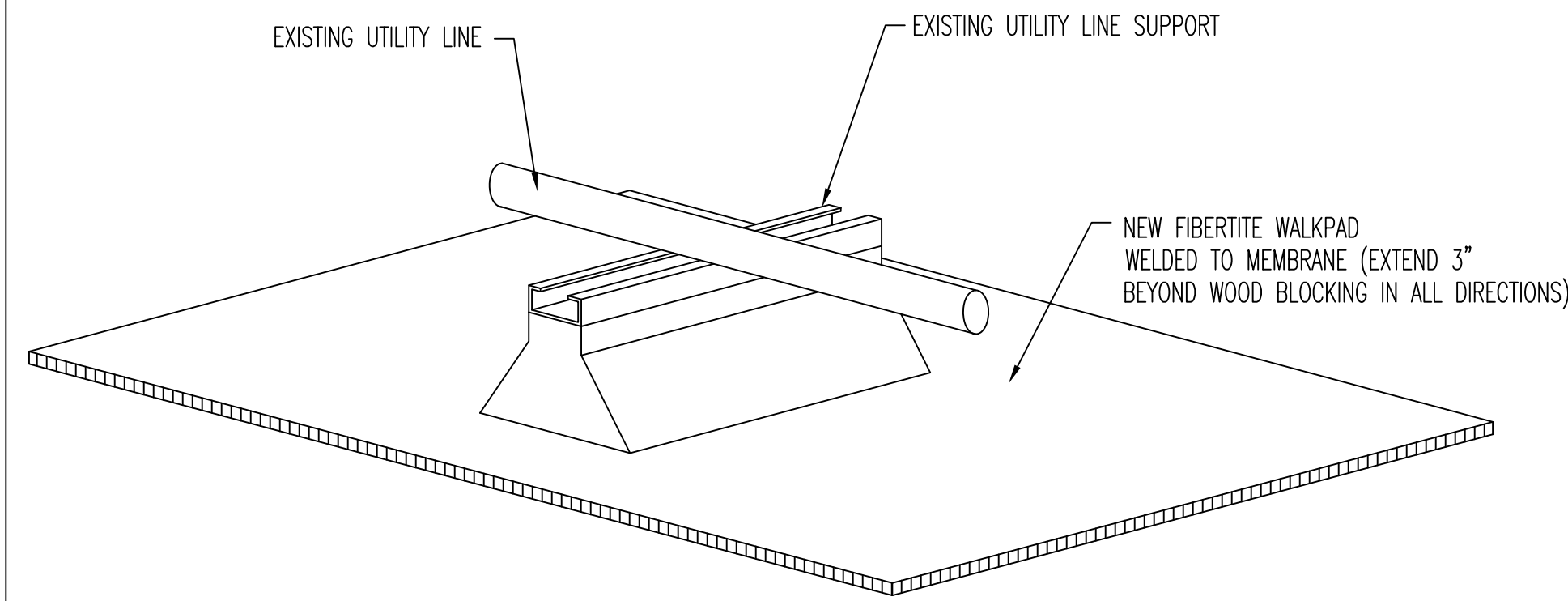
- NOTES:
- GUTTER LENGTHS SHALL BE NO LONGER THAN 35'.
 - ALL GUTTER CORNERS SHALL BE COVERED WITH 6" AND 9" WIDE PEEL AND STICK EPDM.
 - DOWNSPOUT OUTLETS THAT DISCHARGE ONTO ROOF SHALL HAVE 5,000 PSI CONCRETE SPLASH BLOCK RESTING ON FIBERTITE WALKPAD.



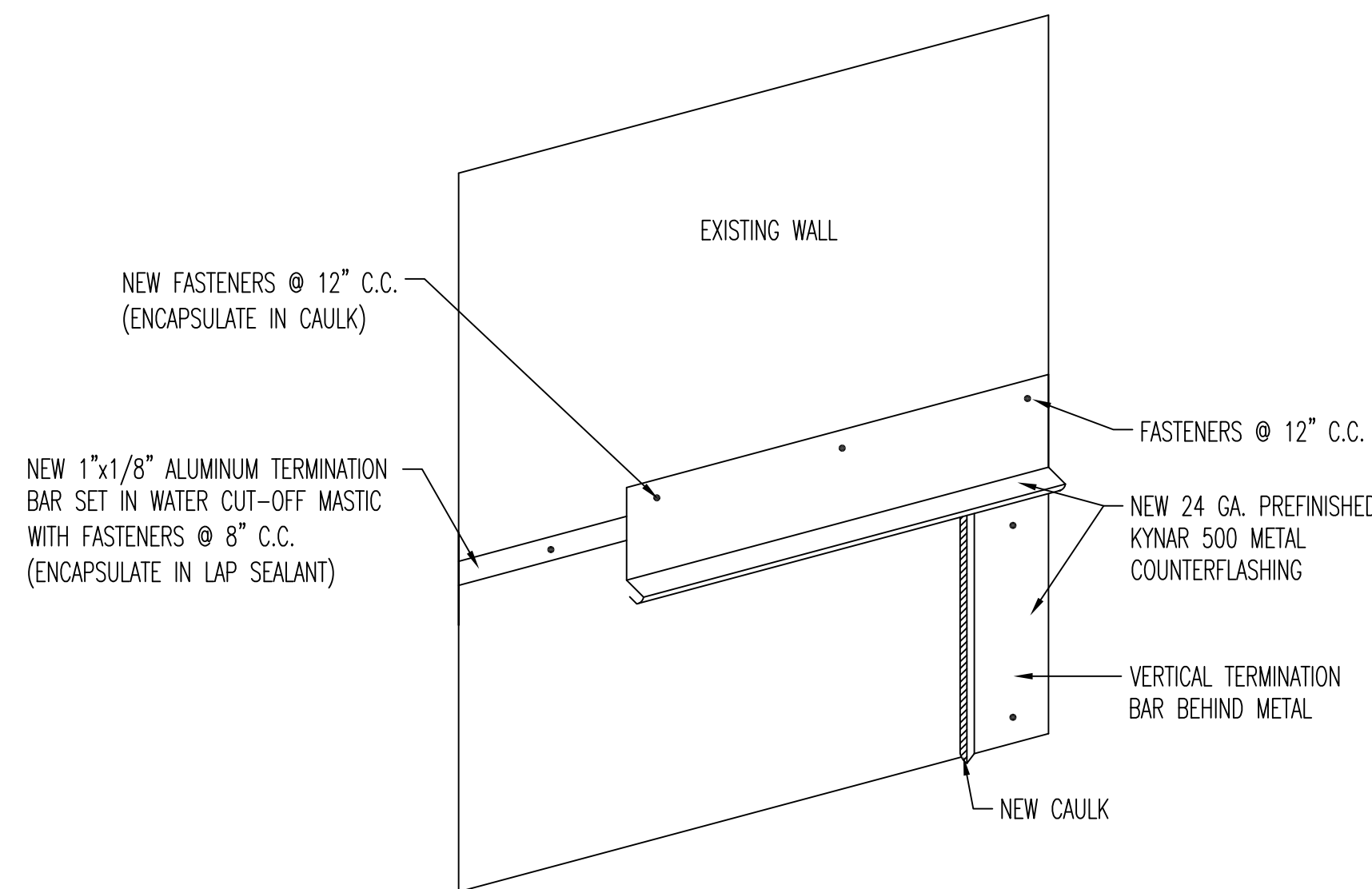
5 GUTTER EXPANSION DETAIL
SCALE: 3" = 1'-0"



2 CANOPY WALL DETAIL (PW)
SCALE: 3" = 1'-0"



3 UTILITY LINE SUPPORT (WS)
NOT TO SCALE



6 TERMINATION BAR COVER
SCALE: 3" = 1'-0"

DR: JAY	CK: RCR	PROJ. NO.: 2922	DATE: 10-4-21
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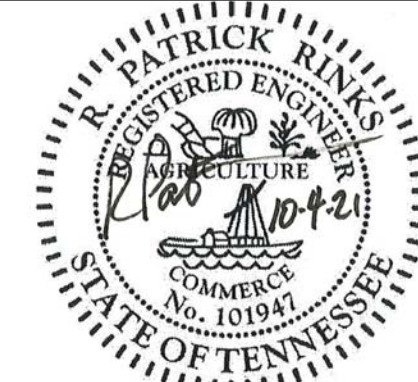
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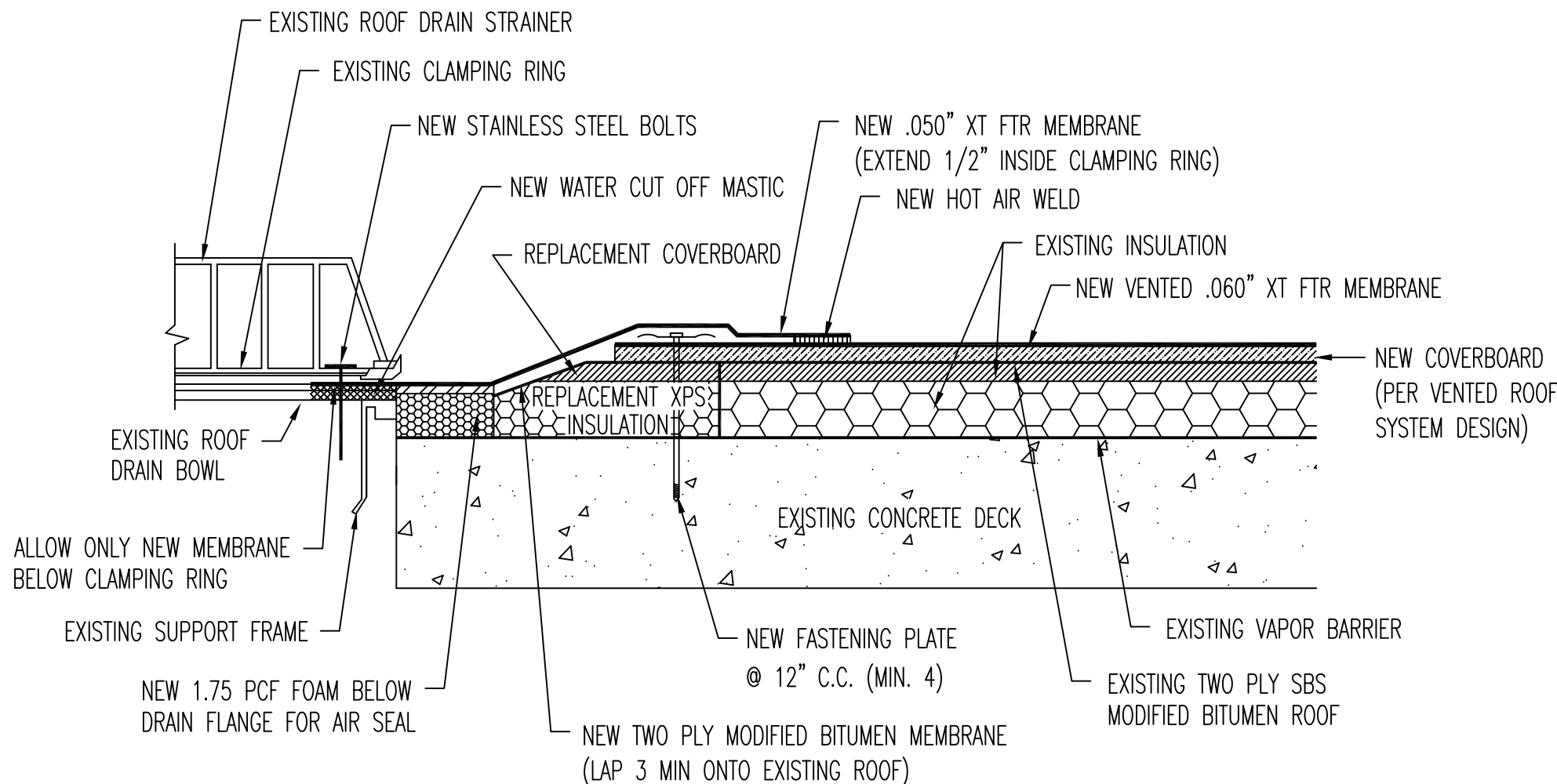
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NASHVILLE, TENNESSEE
OCTOBER 4, 2021
NEW ROOF DETAILS

SCALE: AS SHOWN

D5 SHEET 9 OF 10

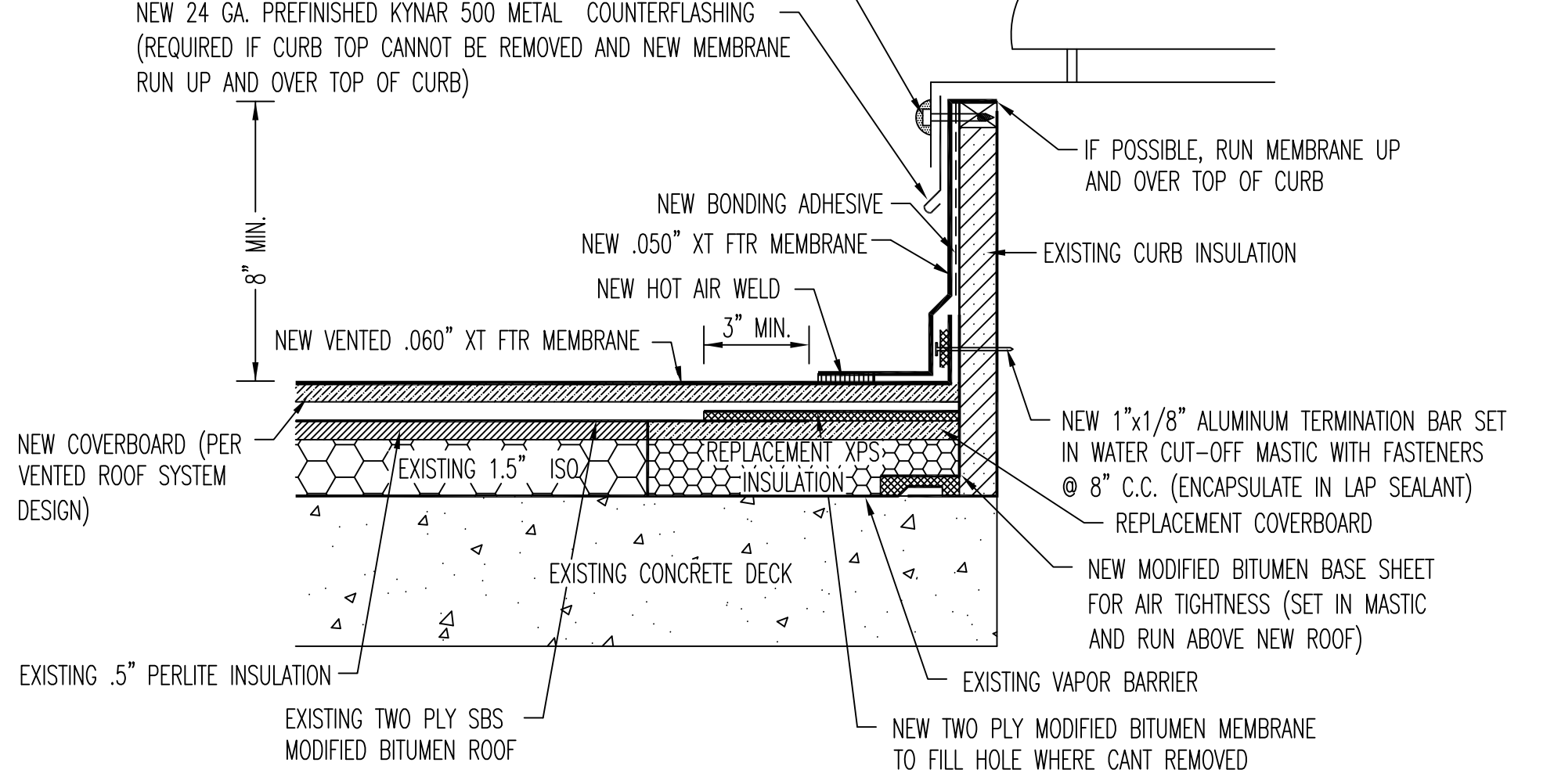


NOTE:
DETAIL IS SHOWN FOR A CONCRETE DECK. PROVIDE MECHANICALLY ATTACHED ROOF SYSTEM ON METAL DECKS. AIR SEAL IS NOT REQUIRED ON MECHANICALLY ATTACHED ROOFS.



1 ROOF DRAIN DETAIL (RD*,RD3,RD4)
SCALE: 3" = 1'-0"

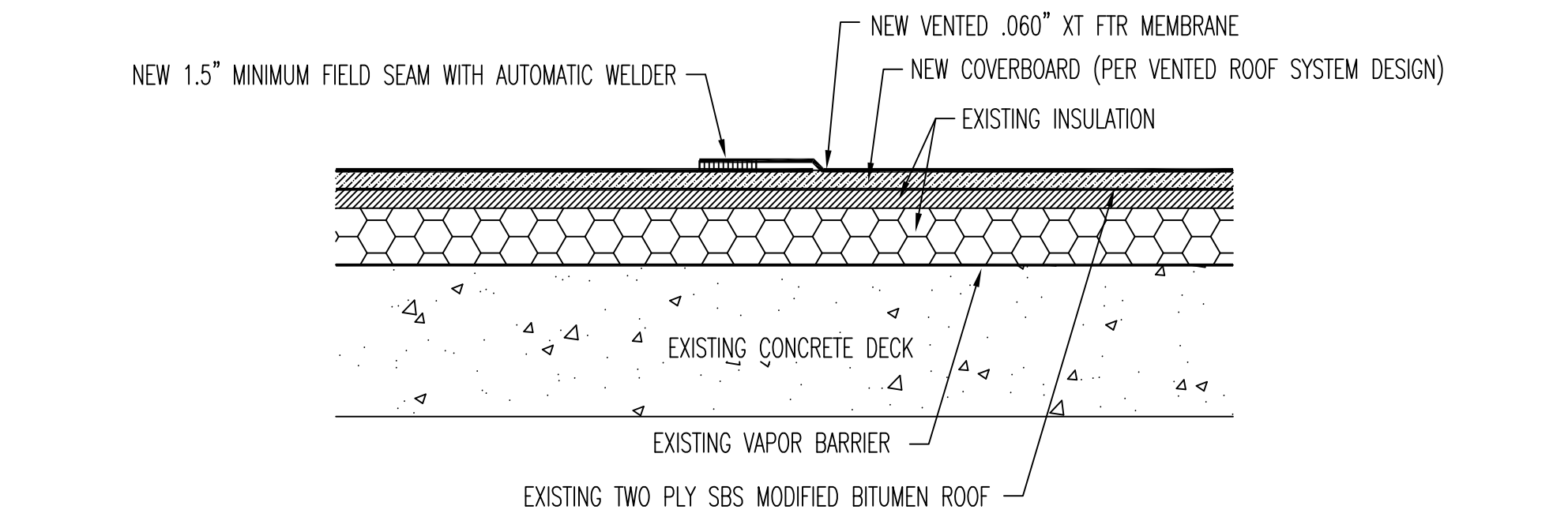
NOTE:
DETAIL IS SHOWN FOR A CONCRETE DECK. PROVIDE MECHANICALLY ATTACHED ROOF SYSTEM ON METAL DECKS. AIR SEAL IS NOT REQUIRED ON MECHANICALLY ATTACHED ROOFS.



4 CURB DETAIL (ALL CURBS)
SCALE: 3" = 1'-0"

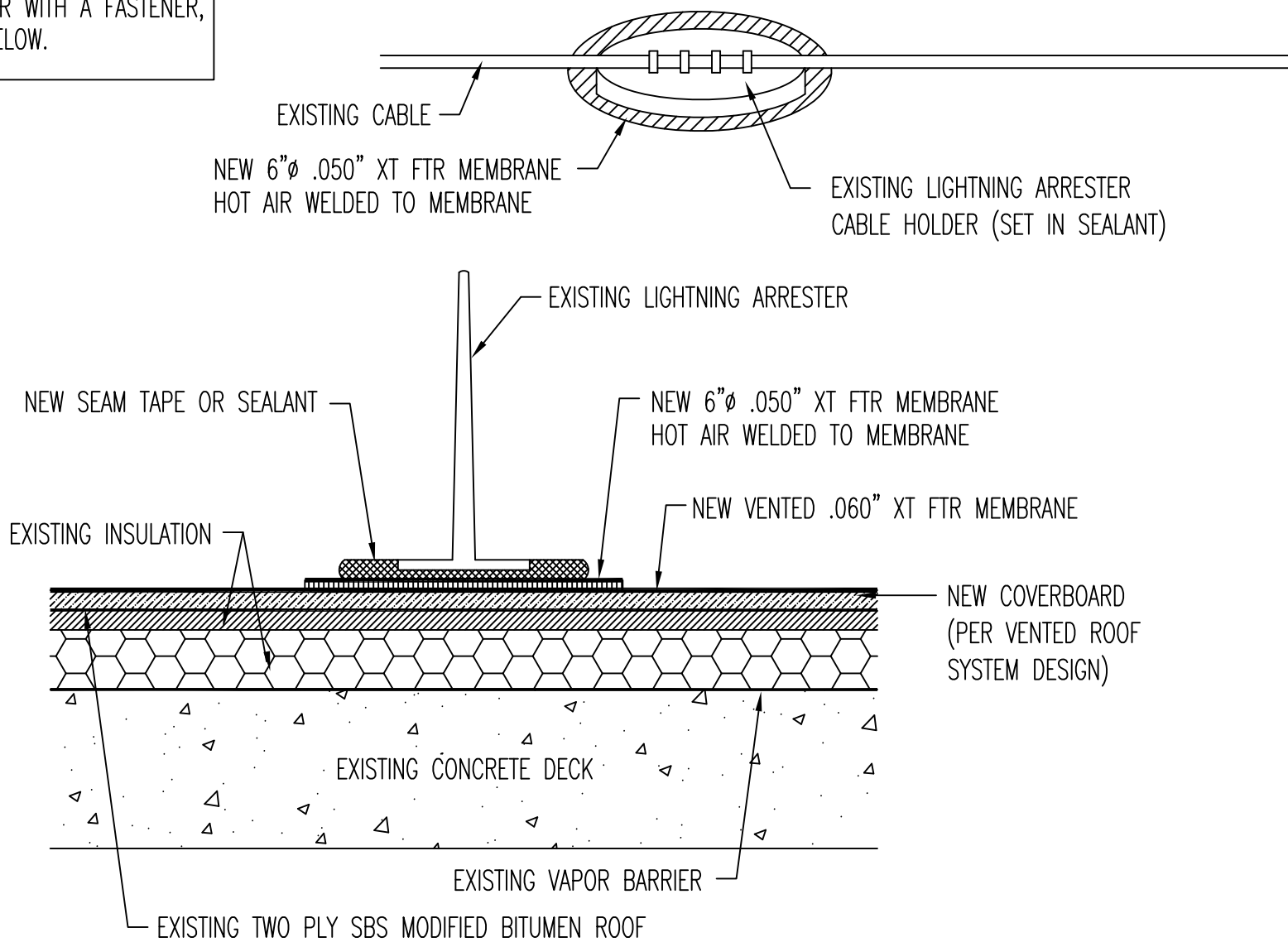
NOTES:
CONTRACTOR SHALL TAKE TESTS SAMPLES THREE TIMES DAILY TO VERIFY SEAM WELDING PROCESS AS OUTSIDE CONDITIONS CHANGE. SAMPLES SHALL BE LABELED WITH DATE AND TIME TAKEN AND SHOWN TO DESIGNER AT EACH OBSERVATION.

DETAIL IS SHOWN FOR A CONCRETE DECK. PROVIDE MECHANICALLY ATTACHED ROOF SYSTEM ON METAL DECKS.



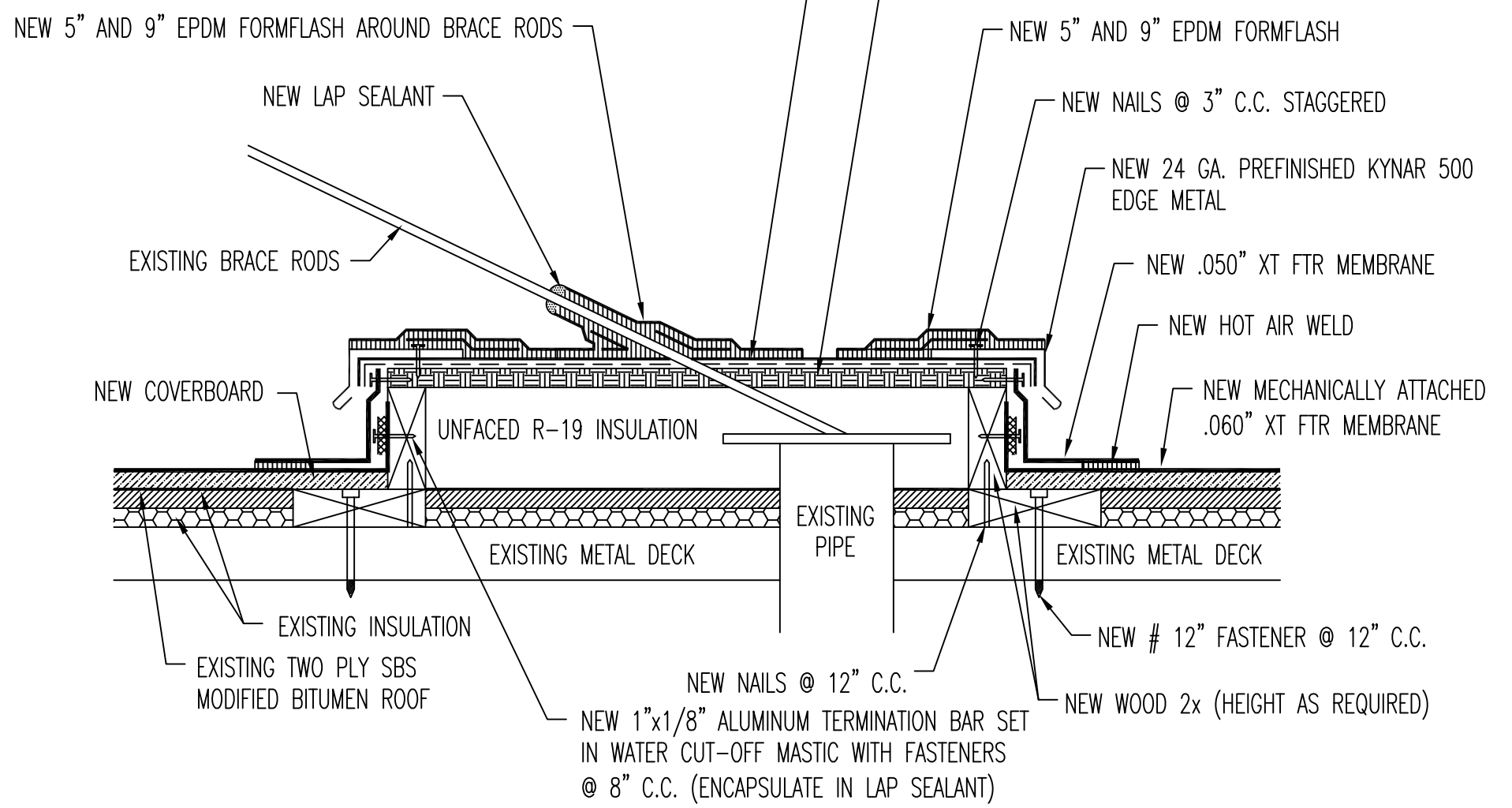
7 TYPICAL SEAM DETAIL
SCALE: 3" = 1'-0"

NOTES:
WHERE CABLES TIE TOGETHER WITH A FASTENER, WELD FIBERTITE WALKPAD BELOW.



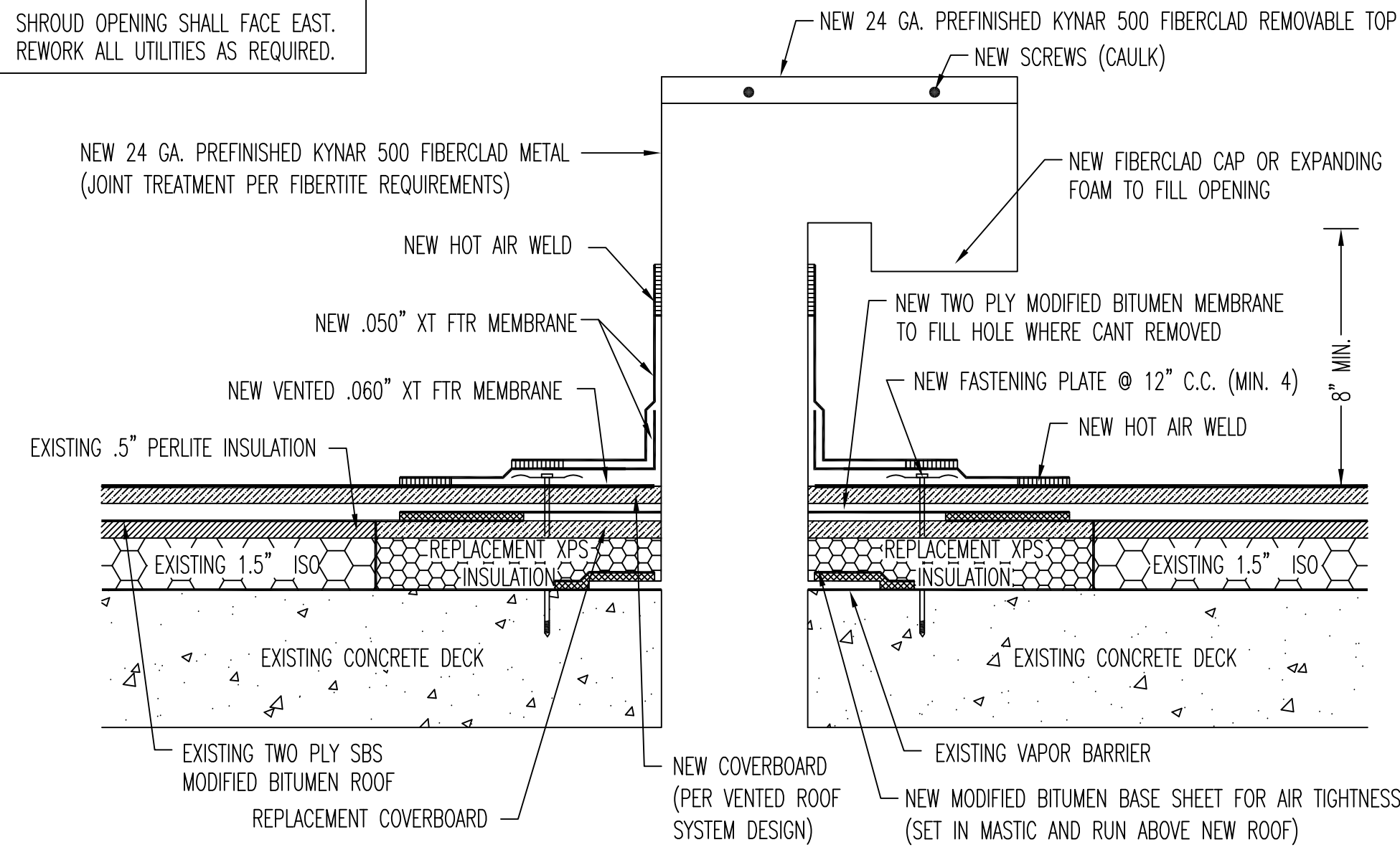
2 LIGHTNING ARRESTER DETAILS (L)
NOT TO SCALE

NOTE:
CONTRACTOR SHALL MAKE BOX AS WIDE AS REQUIRED TO PROPERLY FIELD FLASH BRACE RODS.



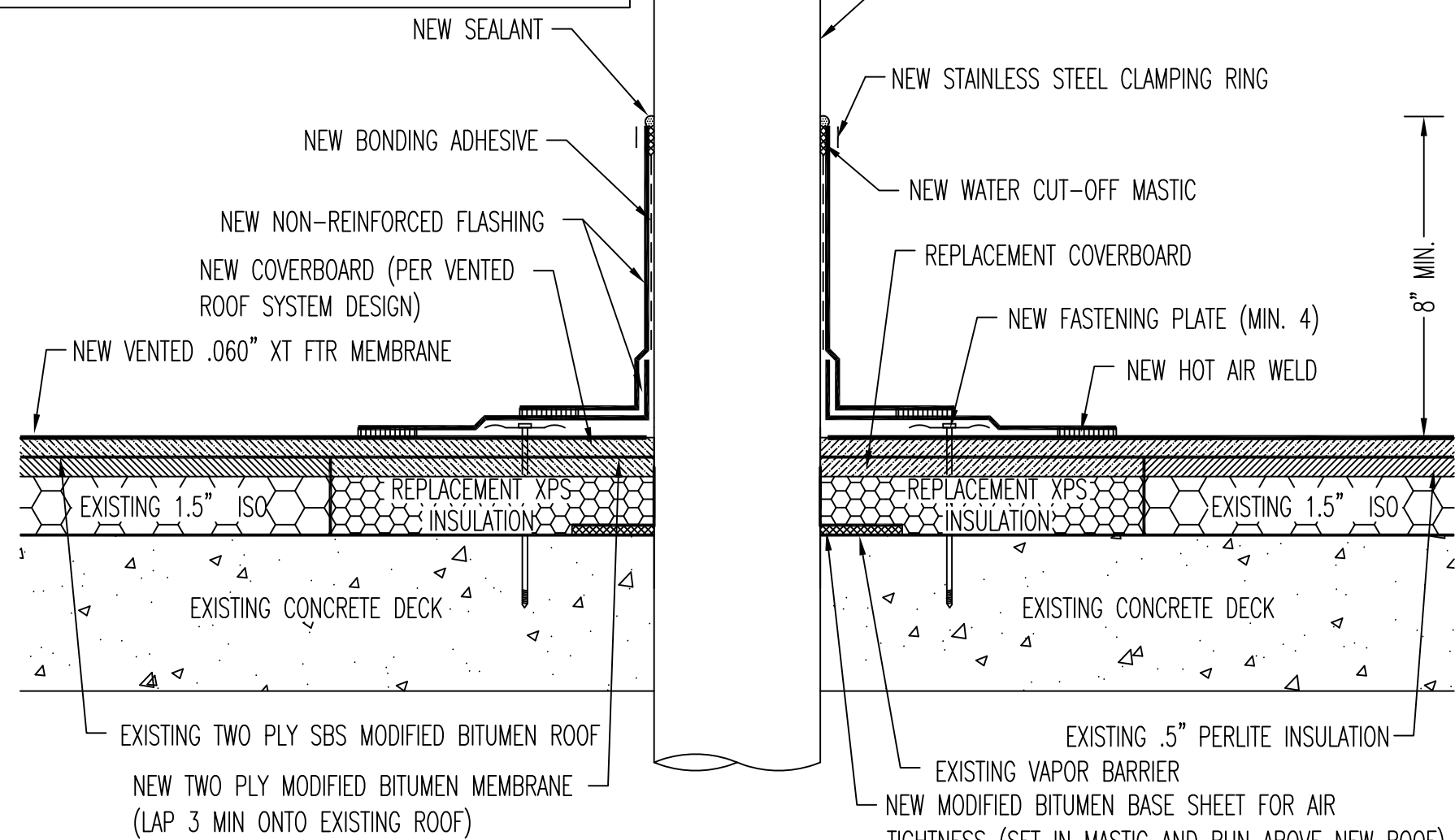
5 CANOPY ROD BRACING DETAIL (B)
SCALE: 3" = 1'-0"

NOTE:
SHROUD OPENING SHALL FACE EAST. REWORK ALL UTILITIES AS REQUIRED.



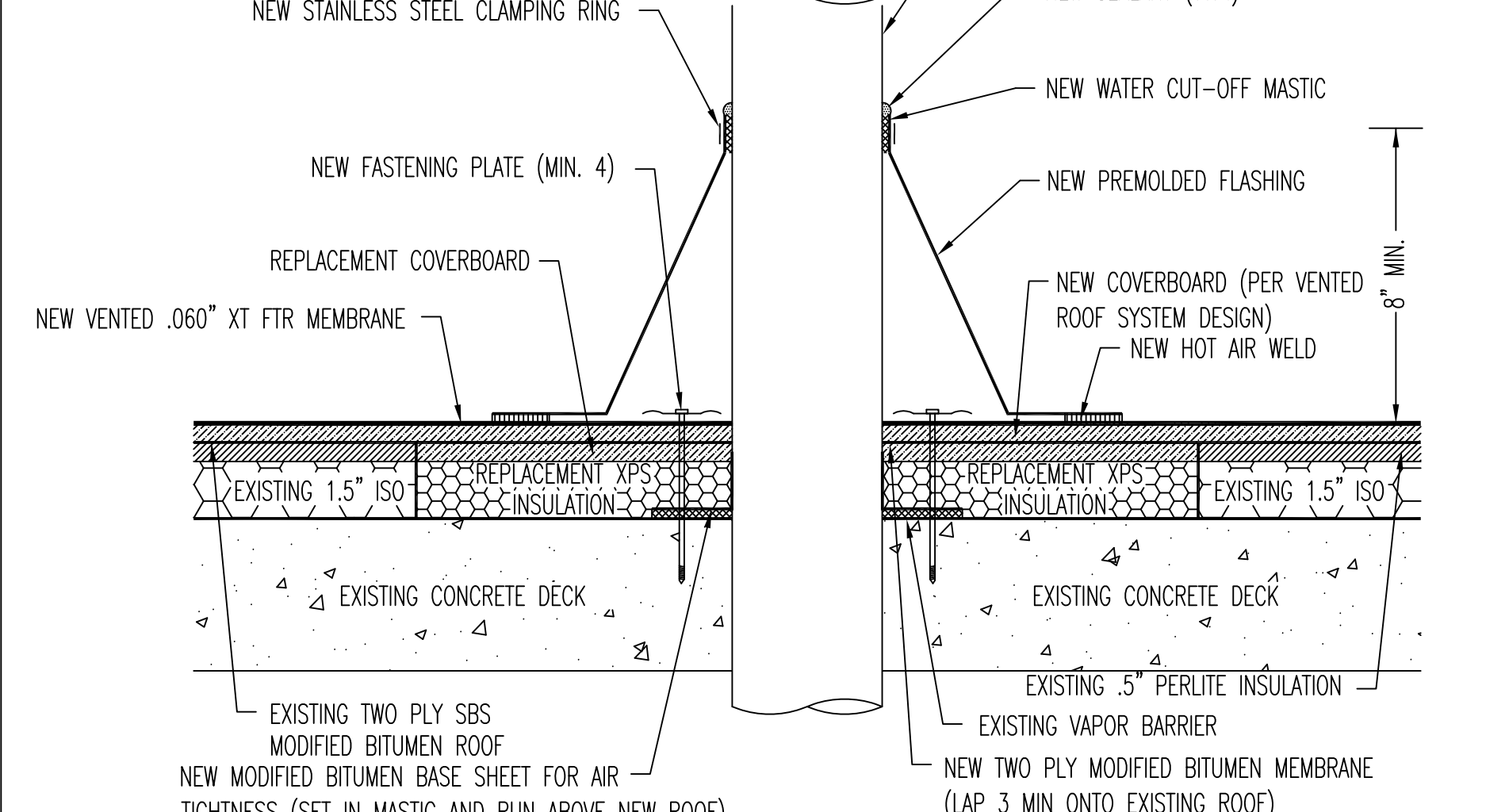
8 SHROUD DETAIL (LP,NSH)
SCALE: 3" = 1'-0"

NOTE:
DETAIL IS SHOWN FOR A CONCRETE DECK. PROVIDE MECHANICALLY ATTACHED ROOF SYSTEM ON METAL DECKS. AIR SEAL IS NOT REQUIRED ON MECHANICALLY ATTACHED ROOFS.

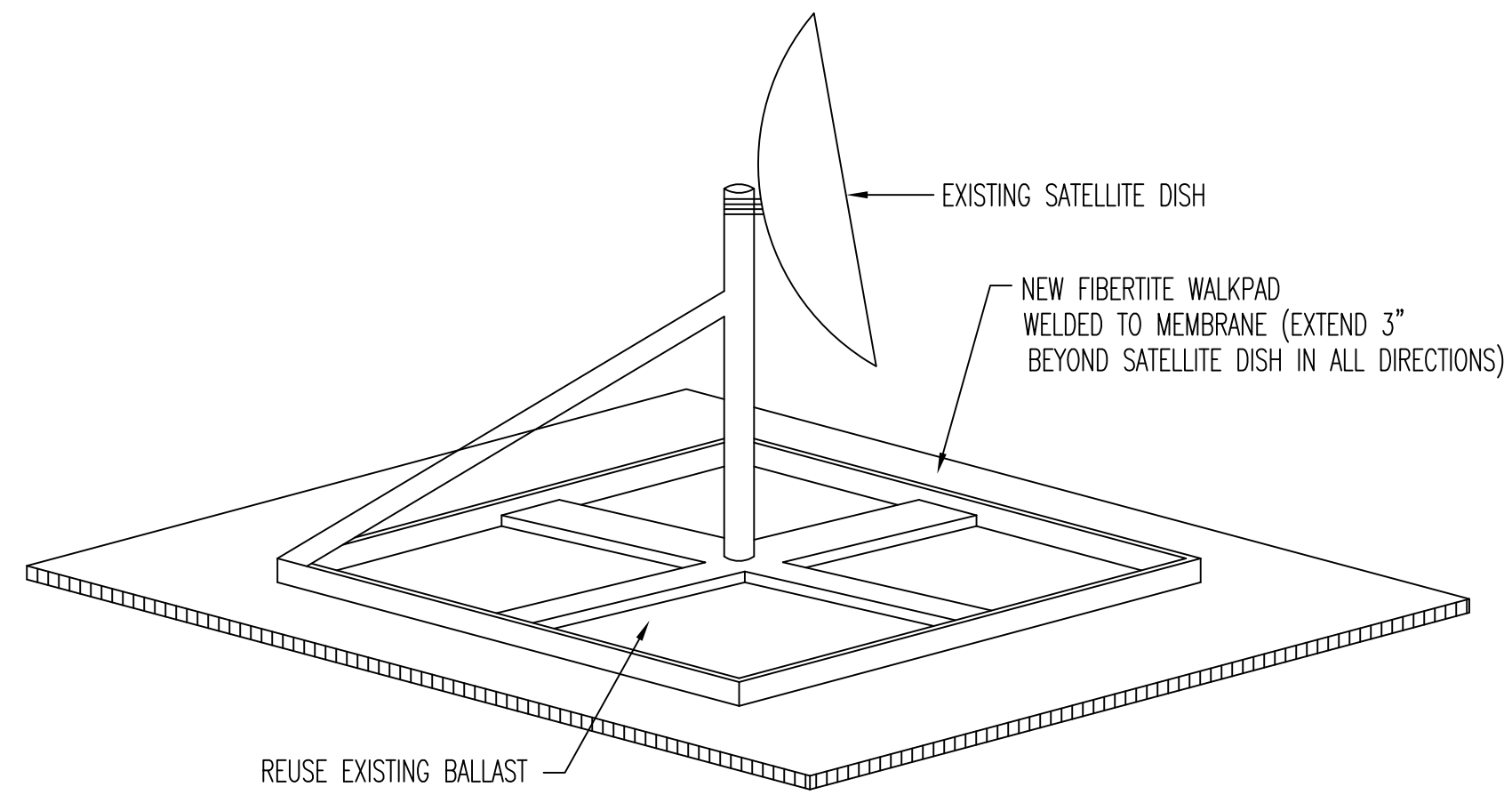
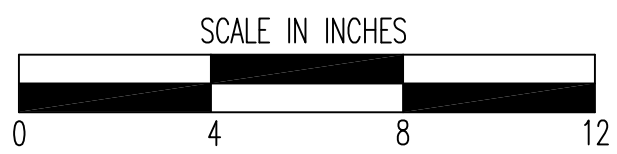


3 FIELD FABRICATED FLASHING (E1,E2,I10,NP4,P2,P4)
SCALE: 3" = 1'-0"

NOTE:
DETAIL IS SHOWN FOR A CONCRETE DECK. PROVIDE MECHANICALLY ATTACHED ROOF SYSTEM ON METAL DECKS. AIR SEAL IS NOT REQUIRED ON MECHANICALLY ATTACHED ROOFS.



6 PLUMBING VENT DETAIL (PV2,PV3,PV4)
SCALE: 3" = 1'-0"



9 SATELLITE DISH SUPPORT (S)
NOT TO SCALE

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SCALE: AS SHOWN

D6 SHEET 10 OF 10

